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**TOWN OF SEDGWICK
BUILDING NOTIFICATION FORM**

Building shall mean any improvement on real estate including, but not limited to, dwellings, sheds, barns, decks, patios, swimming pools and all commercial and industrial buildings.

Building shall mean altering, making additions to, or construction of any new building, or change an existing building, which increases the existing footprint or has its own footprint in excess of 75 square feet.

PROPERTY OWNER CALEB SCOTT

ADDRESS 13 GREENHEAD LANE STONANSTON, ME 04681

PROPERTY: MAP 2 LOT 35 BOOK 7359 PAGE 243

Is structure within 250 feet of the shoreline of tidal waters, fresh water pool, lake, stream, or wetland? Circle one YES NO

Is structure to be used for a commercial purpose or a business? YES NO

Any person who does not comply with this ordinance may be subject to a penalty of not less than \$10.00, nor more than \$100.00, per day in violation. (Property owner is also liable for all taxes on the new construction, plus interest if any, regardless of whether or when the building notification form is filed.)

Dated at Sedgwick, Maine April 8th, 2025

Signature of owner or authorized agent Caleb Scott

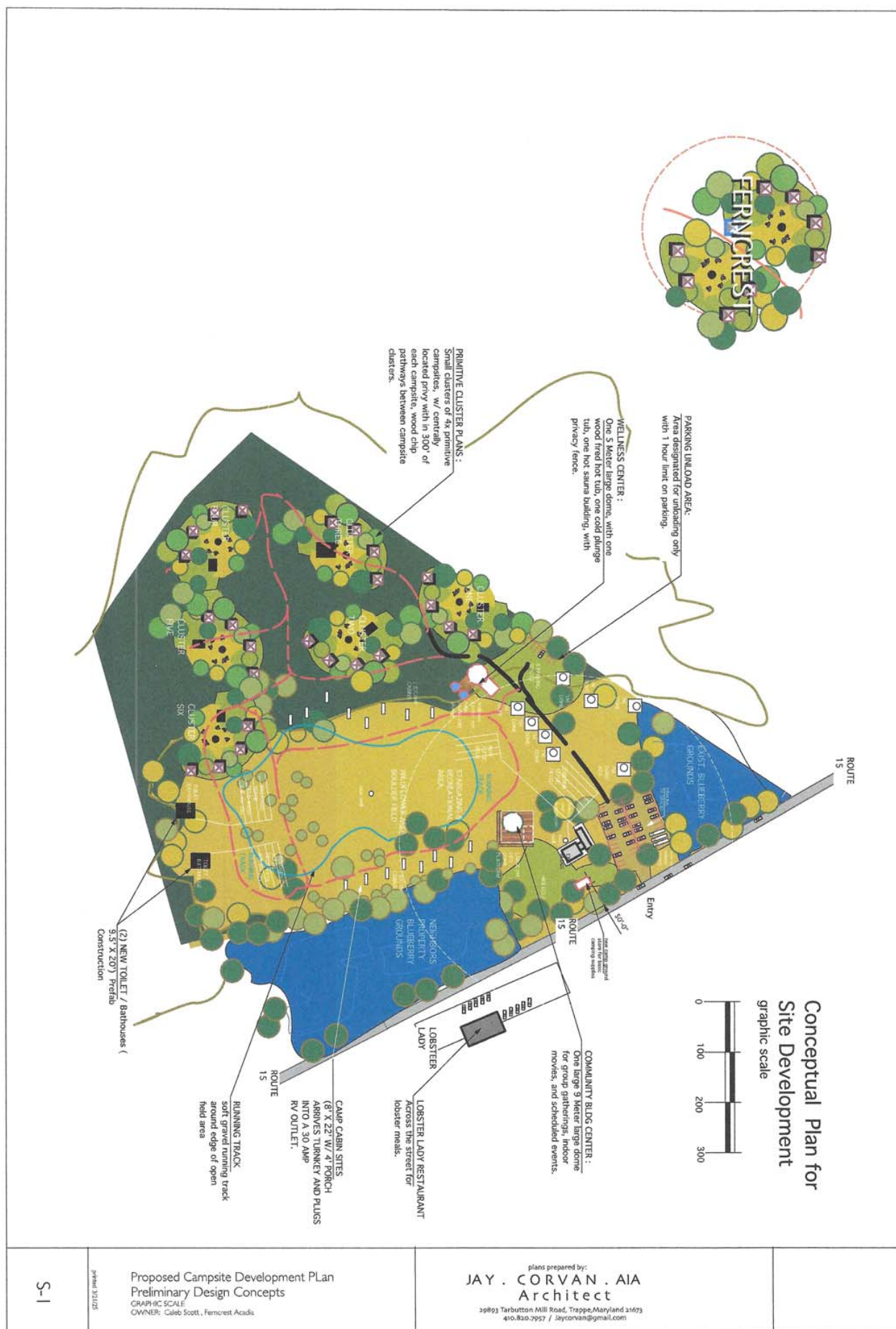
Signature of Selectman or Code Enforcement Officer _____

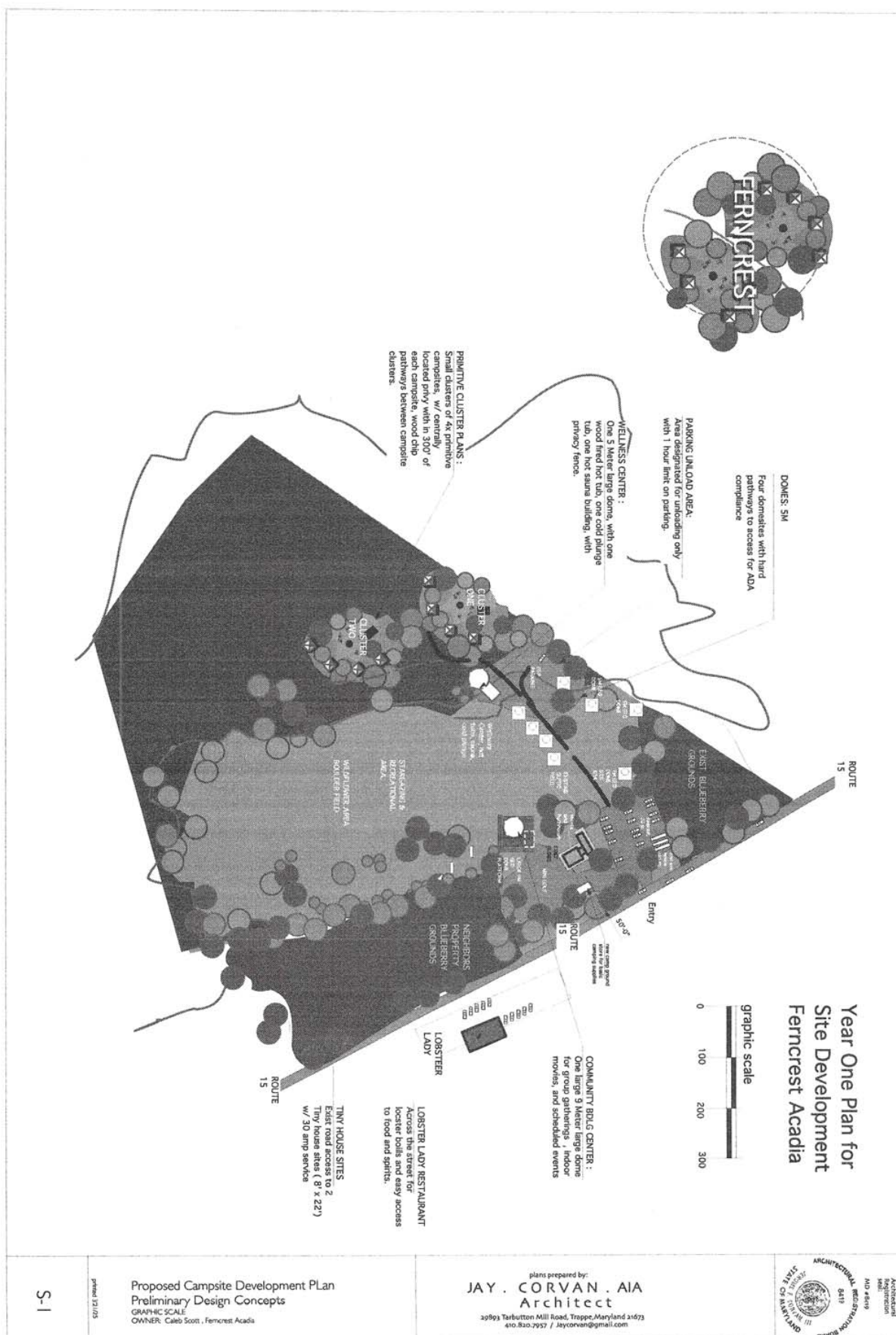
\$ 10.00 fee paid _____

Please enter a description or sketch of the project _____

SEE ATTACHED PROPOSED CAMPFIRE
DEVELOPMENT PLAN

This form is just a notice of construction activity and does not supercede any state or local laws, ordinances, or deed restrictions between abutters and/or prior, present or parties with an interest. Any person putting in a driveway on a town road must have culverts approved by the Road Commissioner.





Main File No. Shoreland Zoning Page #7

FOR OFFICE USE ONLY:
PERMIT NO: _____
ISSUE DATE: _____
FEE AMOUNT: _____

TOWN OF SEDGWICK, MAINE
SITE PLAN REVIEW PERMIT APPLICATION

GENERAL INFORMATION

1. APPLICANT CALEB HICOTT	2. APPLICANT'S ADDRESS 17 GREENHEAD LN. STONINGTON, ME 04861	3. APPLICANT'S TEL # 207-469-5990
4. PROPERTY OWNER HIDEOUT HOUSE ACADIA LLC	5. OWNER'S ADDRESS GAME AS ABOVE	6. OWNER'S TEL # GAME AS ABOVE
7. CONTRACTOR DAVID WITHAM	8. CONTRACTOR'S ADDRESS 246 N. DEER ISLAND DEER ISL. ME 04679	9. CONTRACTOR'S TEL # 207-266-5829
10. LOCATION/ADDRESS OF PROPERTY 232 CATERPILLAR HILL ROAD SEDGWICK, ME	11. TAX MAP/PAGE & LOT # MAP 2, LOT 35	12. ZONING DISTRICT
13. DESCRIPTION OF PROPERTY INCLUDING A DESCRIPTION OF ALL PROPOSED CONSTRUCTION (E.G. LAND CLEARING, ROAD BUILDING, SEPTIC SYSTEMS, AND WELLS - PLEASE NOTE THAT A SITE PLAN SKETCH IS REQUIRED ON PAGE 1). SEE FERNCREST ACADIA UNION BOOK		
14. PROPOSED USE OF PROJECT		15. ESTIMATED COST OF CONSTRUCTION

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TOWN OF SEDGWICK, MAINE

SITE PLAN REVIEW PERMIT APPLICATION

PROPERTY INFORMATION

16. LOT AREA 17.76 ACRES	17. FRONTAGE ON ROAD (FT.) 641'
18. SQ.FT. OF LOT TO BE COVERED BY NON-VEGETATED SURFACES 2.5A - 100,000 SF	19. ELEVATION ABOVE 100 YR. FLOOD N/A
20. FRONTAGE ON WATERBODY (FT.) —	21. HEIGHT OF PROPOSED STRUCTURE(S) UP TO 15 FT
22. EXISTING USE OF PROPERTY MINI GOLF/TAKEOUT RESTURANT	23. PROPOSED USE OF PROPERTY CAMPGROUND
24. LANDSCAPING CHANGES TO OCCUR SEE VISION BOOK PGS. 3-6	25. STORM WATER MANAGEMENT PLAN NO
26. SET BACK FROM PROPERTY LINES (FT.) ALL GREATER THAN 15'	27. IS THIS NOW OR HAS IT BEEN A HISTORIC SITE? NO
28. WILL SCENIC AREAS BE EFFECTED NO	29. WILL THERE BE STORAGE AREAS LOCATED ON THE PROPERTY? NO
30. WILL THERE BE ADDITIONAL EXTERIOR LIGHTING? NO	31. WILL THERE BE NEW OR ADDITIONAL ADVERTISING SIGNS? YES
32. IS THERE ADEQUATE VEHICLE ACCESS AND PARKING? YES	33. ARE THERE PROVISIONS FOR EMERGENCY VEHICLE ACCESS? YES
34. WILL EXISTING SURFACE DRAINAGE BE IMPROVED OR ALTERED? IMPROVED	35. IS THERE A SOIL EROSION PLAN? NO
36. WILL FEDERAL & STATE REGULATIONS ON AIR QUALITY BE INVOLVED? NO	37. IS SUFFICIENT WATER SUPPLY AVAILABLE? YES
38. WILL A NEW SEWAGE DISPOSAL SYSTEM BE REQUIRED? YES	39. WILL INDUSTRIAL ACTIVITY BE INVOLVED? NO
40. WILL THERE BE MORE THAN ONE COMMERCIAL ACTIVITY INVOLVED? CAMPGROUND / POSSIBLY RESTURANT	

-3-

SITE PLAN

PLEASE INCLUDE: LOT LINES; AREA TO BE CLEARED OF TREES AND OTHER VEGETATION, THE EXACT POSITION OF PROPOSED STRUCTURES, INCLUDING DECKS, PORCHES, AND OUT BUILDINGS WITH ACCURATE SETBACK DISTANCES FROM THE SHORELINE, SIDE AND REAR PROPERTY LINES, THE LOCATION OF PROPOSED WELLS, SEPTIC SYSTEMS, AND DRIVEWAYS; AND AREAS AND AMOUNTS TO BE FILLED OR GRADED. IF THE PROPOSAL IS FOR THE EXPANSION OF AN EXISTING STRUCTURE, PLEASE DISTINGUISH BETWEEN THE EXISTING STRUCTURE AND THE PROPOSED EXPANSION.

NOTE: FOR ALL PROJECTS INVOLVING FILLING, GRADING, OR OTHER SOIL DISTURBANCE YOU MUST PROVIDE A SOIL EROSION CONTROL PLAN DESCRIBING THE MEASURES TO BE TAKEN TO STABILIZE DISTURBED AREAS BEFORE, DURING AND AFTER CONSTRUCTION (See attached guidelines)

SEE ARCHITECT'S CONCEPT
PLAN FOR SITE DEVELOPMENT
1ST YEAR AND FINAL
FERNCREST ACADIA VISION
BOOK PGS. 4 & 5

SCALE: _____ = _____ FT.

- 4 -

FRONT OR REAR ELEVATION

SEE FERNCREST ACADIA
VISION BOOK PGS, 13, 14,
17, 19, 20-29

SIDE ELEVATION

DRAW A SIMPLE SKETCH SHOWING BOTH THE EXISTING
AND PROPOSED STRUCTURES WITH DIMENSIONS

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ADDITIONAL PERMITS, APPROVALS, AND/OR REVIEWS REQUIRED

CHECK IF REQUIRED:

- ☒ PLANNING BOARD REVIEW APPROVAL
(e.g. Subdivision, Site Plan Review) _____
- ☐ BOARD OF APPEALS REVIEW APPROVAL _____
- ☐ FLOOD HAZARD DEVELOPMENT PERMIT _____
- ☒ EXTERIOR PLUMBING PERMIT
(Approved THE 200 Application Form) _____
- ☒ INTERIOR PLUMBING PERMIT _____
- ☐ DEP PERMIT (Site Location,
Natural Resources Protection Act) _____
- ☐ ARMY CORPS OF ENGINEERS PERMIT
(e.g. Sec. 404 of Clean Waters Act) _____

OTHERS:

BUILDING NOTIFICATION FORM (over 75sf)

✓ STATE OF MAINE LICENSE APPLICATION
FOR CAMPGROUND & EVEN CAMPING

NOTE: APPLICANT IS ADVISED TO CONSULT WITH THE CODE ENFORCEMENT OFFICER
AND APPROPRIATE STATE AND FEDERAL AGENCIES TO DETERMINE WHETHER
ADDITIONAL PERMITS, APPROVALS, AND REVIEWS ARE REQUIRED

I CERTIFY THAT ALL INFORMATION GIVEN IN THIS APPLICATION IS ACCURATE. ALL
PROPOSED USES SHALL BE IN CONFORMANCE WITH THIS APPLICATION AND
THE TOWN OF SEDGWICK, MAINE, SITE REVIEW ZONING ORDINANCE.
I AGREE TO FUTURE INSPECTIONS BY THE CODE ENFORCEMENT OFFICER AT
REASONABLE HOURS.

Caleb Scott
APPLICANT'S SIGNATURE

April 8th, 2025
DATE

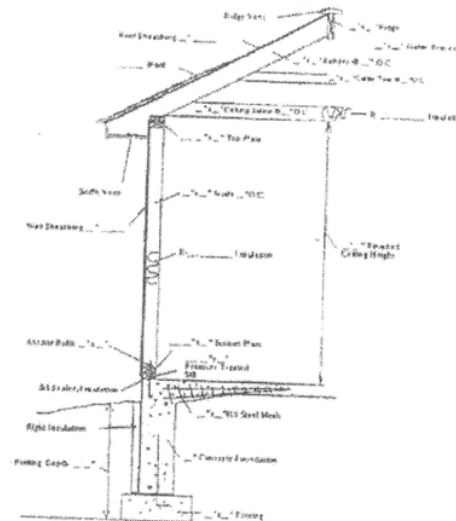
AGENTS SIGNATURE (if applicable)

DATE

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TOWN OF SEDGWICK, MAINE
SITE PLAN REVIEW PERMIT APPLICATION

You've made your plans



**and filled in all the blanks,
but ... have you checked with the DEP?**

If your project is within 100 feet of a brook, stream, lake, river, wetland, great pond, or other waterbody, it probably requires a Natural Resources Protection Act Permit from the DEP before work begins. Some of the activities requiring a NRPA permit are: soil disturbance, grading, filling (with any material) beach construction or repair, dredging, draining water from or discharging water to a waterbody, bridge or culvert crossings, permanent wharves, docks or moorings, most retaining wall construction or repair and any shoreline alteration or disturbance. Projects started without a State permit where one is required can result in repairs and penalties from \$100 to \$10,000 per day. Landowners and their contractors are both subject to penalties. For more information and help determining if you need a permit

call the DEP at 207-941-4570

On September 20, 1997 the DIG SAFE law changed.

You must call **1-888-DIGSAFE** and get approval before you begin ditching, grading, sign installation, culvert repair, road reconstruction, excavating and many other forms of disturbing the earth. Even if no damage occurs you could be held liable for civil penalties of up to \$1,000 if you fail to call

1-888-DIGSAFE

Town of Sedgwick -Site Plan Review
(draft 7/2018) Applicant Check list:

The Planning Board has provided this check list to aid in fairly evaluating your proposed project.

It is the goal of the planning board to completely, fairly and openly investigate any and all possible ramifications of your development on the landscape, the community and the environment of the Town of Sedgwick.

Your attention to detail as you fully and accurately complete this checklist will enable us to quickly determine how your project conforms to the site plan review ordinance.

The planning Board, and the code enforcement officer are available to aid and assist you as you navigate this process.

Please submit your proposal to The Board that includes all of the following information:

☒ 1) Map:

A site plan map to include the following information:

☒ A) Applicant information

- ☐ Name and address of applicant or authorized agent
- ☐ Name of proposed development (for reference purposes)
- ☐ Description and location of all proposed structures, buildings or improvements.
- ☐ Identification of any land within 500 feet of the proposed development in which the applicant has title or interest

☒ B) Soil conditions _____

Existing soil conditions as described either by a soils scientist, geologist, engineer, or SCS medium intensity soils survey (This information may be available by contacting the Hancock County Soil Management District)

☒ C) Tax maps & lot numbers

Copies of municipal tax maps and lot numbers (Available from the Town of Sedgwick office) with names of all owners, including those of abutting landowners

☒ D) Survey _____

Most recent perimeter (boundary) survey of the parcel prepared and certified by a registered land surveyor, listing reference points, true or magnetic north, scale, corner of parcel, date of survey and total acreage.

☐ E) Utilities & easements

For proposed development and areas within 200 feet of the proposed development, show existing and proposed locations and dimensions of:

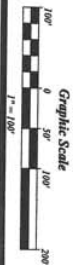
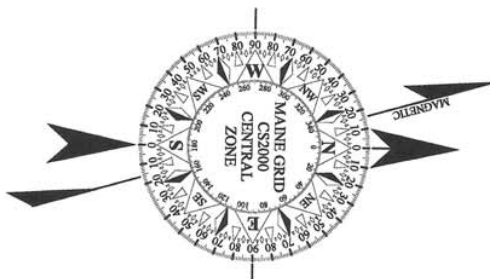
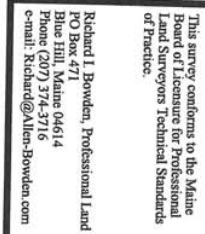
- ☐ Utility lines _____
- ☐ Sewer/septic lines _____
- ☐ Wells/water lines _____
- ☐ Easements/public and private rights-of-way _____
- ☐ Drainage ways / wetlands _____
- ☐ Other critical points of interest _____

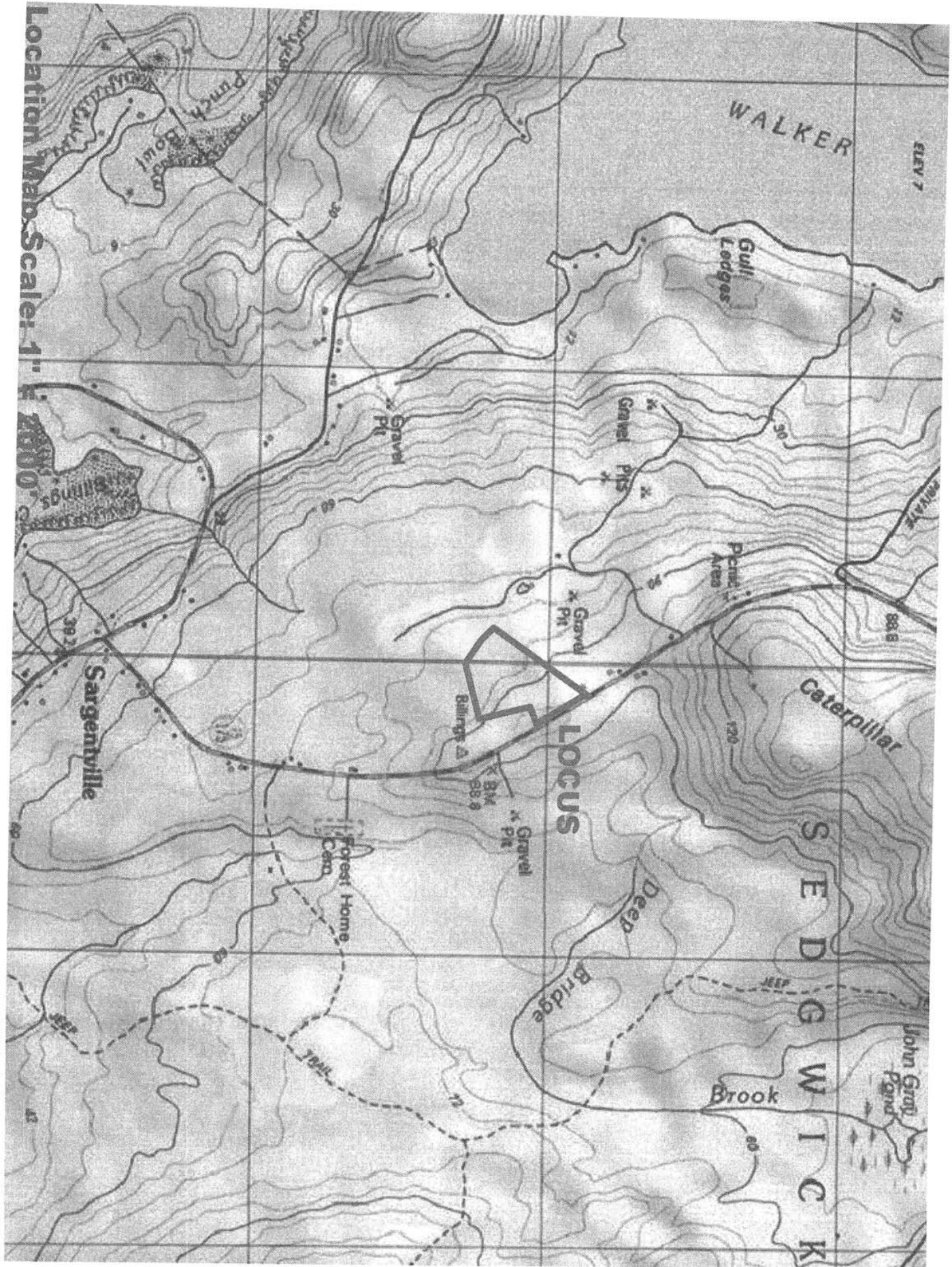
Town of Sedgwick -Site Plan Review
Draft 7/2018 Applicant Check list:

- ☒ F) Existing structures _____
Location of all existing buildings or structures located on the proposed development site and on parcels abutting the site
- ☒ G) Soils report _____
If the site is not to be served by a public sewer line, an on-site soils investigation report by a licensed soils evaluator is required. The report shall contain the types of soils, location of test pits and proposed location of the best practical subsurface disposal system for the site
- ☐ H) Pedestrian & vehicular access _____
Location and dimensions of on-site pedestrian and vehicular access ways, parking, and loading areas, curbs and sidewalk lines
- ☐ I) Landscape plan showing location, type and approximate size of plantings and location, description and dimensions of all fencing and screening. All signage and exterior lighting is to be detailed and described.
- ☒ J) Dark Skies plan. The applicant has read and has implemented recommendations as described in the Technical Assistance Bulletin provided by the Maine State Planning Office
<https://www.maine.gov/dacf/municipalplanning/docs/lightingmanual.pdf>
- ☒ K) Site topography
Topographic contours at intervals of either 15' or 10' in elevation, as specified by the Planning Board _____
- ☐ L) Site aquifers
Location of aquifers and aquifer recharge areas (if mapped)
- ☐ M) Additional information _____
Any additional information that may help to describe the proposed development



PROPERTY MAP
SEDGWICK
HANCOCK COUNTY, MAINE
PREPARED BY
JAMES W. SEWALL COMPANY OLD TOWN, MAINE
SCALE 1 INCH = 200 FEET
2





Town of Sedgwick -Site Plan Review
(draft 7/2018) Applicant Check list:

- ☐ 2) Project description & statement from the applicant:
- A written statement by the applicant including the following information:
- ☒ Evidence of title and interest in the land for which the application addresses
 - ☒ A description of the proposed uses (developments) to be located on the site, including quantity and type of residential units, if any
 - ☐ Gross floor area and ground coverage of each proposed building/structure and percentage of lot area to be covered by each building/structure as well as total area of lot to be covered by buildings/structures _____
 - ☐ Summary of existing & proposed easements, restrictions, liens and covenants affecting the property _____
 - ☐ Method of solid waste disposal _____
 - ☐ Erosion & sediment control plan _____
 - ☒ Copies of certified letters (including delivery receipts) to:
 - ☒ All abutting landowners
 - ☐ Select board
 - ☐ Tax collector
 - ☐ Town clerk
 - ☐ Fire chief
 - ☐ Road commissioner (if applicable) _____notifying them of the proposed development
 - ☐ A statement from the Fire Chief as to the availability and adequacy of fire hydrants and/or fire ponds, or provision of fire protective services
 - ☐ If public water/sewer systems are to be used, a statement from the water/sewer district or utility as to the availability of water/sewer lines _____
 - ☒ An estimate of the date when construction will begin, and when the development will be completed
 - ☐ A recommendation from the Town engineer, Road commissioner, or Select board on the proposed design & layout (As needed) _____
 - ☐ A comprehensive list of all County, State and Federal agencies and offices that require applications and/or permits for the proposed project
 - ☐ A timeline for submission of applications, and copies of any applications previously submitted or permits granted by offices/agencies listed above. Include points of contact for listed offices/agencies

April 8, 2025

Ferncrest Acadia

Site Plan Review Applicant Check list:

Project description & statement from the Applicant

1. Warranty Deed DLN# 2116429 (attached).
2. Proposed campground with a total of 48 campsites (see Ferncrest Acadia Vision Book pages 4-7 for a detailed description of entire site).
3. There will be a total of 24 primitive campsites in clusters of 4 located within 6 acres of forest with wood chip pads. Each cluster will be provided a Wasted Off Grid toilet. There will be 16 sites with a mix of 4 x 5 meter and 4 x 7 meter domes on pressure treated decks, 8 - 8' x 22' tiny cabins on gravel pads, a 9 x 6 meter "community center" oval dome on a pressure treated deck, a 5 meter "wellness center" dome on a pressure treated deck, an 8' x 12' camp store, 2 - 9'-6" x 20' bathhouses. In addition, a 13' x 40' existing toilet facility will be upgraded to contain 1 - ADA bathroom, a women's bathroom and a men's bathroom. There is also an existing building on a concrete slab approximately 16' x 24' which will be used as a camp office.
4.

16 - Pressure treated pads 20' x 20' = 6,400 Sq Ft.	= .9%
8 - 8' x 22' tiny cabins	= 1,408 Sq Ft. = .2%
1 - 27' Dia. Community denter.	= 572 Sq Ft. = .08%
1 - 15' Dia. Wellness Center	= 177 Sq Ft. = .025%
1 - 13' x 40' bath house	= 520 Sq Ft. = .07%
2 - 9'-6" x 20' bath houses	= 380 Sq Ft. = .05%
1 - 8' x 12' camp store	= 96 Sq Ft = .01%
1 - 16' x 24' existing building.	= 384 Sq Ft = .05%
Total areas	9,937 Sq Ft. = 1.4%
5. There are no existing or proposed easements, restrictions, liens and covenants affecting the property.
6. There is an existing sub-surface waste disposal system with a flow rate of 270 GPD serving the existing 16' x 24' building. Pending a licensed site evaluator review/design this system will be expanded, if possible, to accommodate the renovation of the existing 13' x 40' building into an ADA, women's and men's bath house. Two proposed pre-fabricated 9'-6" x 20' bath houses will be connected to two new septic systems to be designed and installed for Year 2. A total of 6 - "Wasted Off Grid toilet will be installed, one for each cluster of 4 primitive campsites; two initially to accommodate the 8 primitive campsites and 4 in year 2.
7. No erosion & sediment control plan available at this time.

8. Copies of certified letters and delivery receipts are attached for all abutting landowners.
 9. A statement from the Fire Chief will be requested.
 10. No public water/sewer system is to be used.
 11. Construction will begin as soon as permits are issued. The first of May 2025 is the anticipated date.
 12. Recommendation from the Town engineer, Road commissioner or Select board is expected during the review process.
 13. A State of Maine License Application for a Campground & Event Camping and a Transient Public Water System Application for a New System or New Well for the proposed campground is in progress.
-

Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Dwight and Andrea Brown
245 Caterpillar Hill Road
Sedgwick, ME. 04676

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Mr. & Mrs. Brown,

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

The proposed project involves the development of a new campground on the above-mentioned property. Details of the application will be reviewed and discussed during a public hearing held by the Sedgwick Planning Board.

Public Hearing Details:

Date: April 8th, 2025

Time: 7pm

Location: Sedgwick Town Office

As an abutter, you have the right to attend the public hearing, ask questions, and provide comment on the proposal. The Planning Board encourages public input and will consider all feedback as part of its review process.

Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Timothy M. Carter & Kayla M. Spence

P. O. Box 695

Blue Hill, ME. 04614

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Mr. Carter and Ms. Spence,

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

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Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Bruce & Linette Grindal
148 North Sedgwick Road
Sedgwick, ME. 04676

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Mr. & Mrs. Grindal,

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

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Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Matthew S. Eaton
245 Caterpillar Road
Sedgwick ME 04676

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Mr. Eaton,

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

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Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Michelle Marie Gray
240 Barnstable Road, Unit 16
South Portland, ME 04106

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Ms. Gray

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

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Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Lisa M. Markstein Revocable Trust
74 Prudence View Drive
Portsmouth, RI 02871

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Ms. Markstein,

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

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Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Darrell L. Brown
124 Lowe Rd
Deer Isle, ME. 04627

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Mr. Brown

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Date: April 8th, 2025

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Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Natasha M. Allen

28A Bagaduce Rd

Brooksville, ME. 04617

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Ms Allen

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

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Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Diana Santospago / "The Lobster Lady"
P. O. Box 75
Isle au haut, ME 04645

Subject: Notice to Abutters – Proposed "New Campground" Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Mrs. Santospago

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled "New Campground" to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

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13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

David E. Webb & Rozella M. Webb
191 Reach Road Sedgwick ME 04676

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Mr. & Mrs. Webb

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

The proposed project involves the development of a new campground on the above-mentioned property. Details of the application will be reviewed and discussed during a public hearing held by the Sedgwick Planning Board.

Public Hearing Details:

Date: April 8th, 2025

Time: 7pm

Location: Sedgwick Town Office

As an abutter, you have the right to attend the public hearing, ask questions, and provide comment on the proposal. The Planning Board encourages public input and will consider all feedback as part of its review process.

Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Blue Hill Heritage Trust
P.O. Box 222, Blue Hill ME. 04614

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Mr. Fields

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

The proposed project involves the development of a new campground on the above-mentioned property. Details of the application will be reviewed and discussed during a public hearing held by the Sedgwick Planning Board.

Public Hearing Details:

Date: April 8th, 2025

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Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Spenser K. Allen & Susan C. Allen
28 Bagaduce Rd. Brooksville, ME. 04617

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Mr. & Mrs. Allen

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

The proposed project involves the development of a new campground on the above-mentioned property. Details of the application will be reviewed and discussed during a public hearing held by the Sedgwick Planning Board.

Public Hearing Details:

Date: April 8th, 2025

Time: 7pm

Location: Sedgwick Town Office

As an abutter, you have the right to attend the public hearing, ask questions, and provide comment on the proposal. The Planning Board encourages public input and will consider all feedback as part of its review process.

Caleb Scott
13 Greenhead Ln
Stonington, Maine 04681
(207) 469-5990
Cscott8@grad.bryant.edu

Date: March 27, 2025

Via Certified Mail

Billings & Webb Construction
27 Eggmoggin Rd. Little Deer Isle, ME 04650

Subject: Notice to Abutters – Proposed “New Campground” Project at 232 Caterpillar Hill Rd, Sedgwick, ME 04681

Dear Mr. Billings

As an abutting property owner, you are hereby notified that an application has been submitted to the Sedgwick Planning Board for a proposed project entitled “New Campground” to be located at 232 Caterpillar Hill Road, Sedgwick, Maine 04681.

The proposed project involves the development of a new campground on the above-mentioned property. Details of the application will be reviewed and discussed during a public hearing held by the Sedgwick Planning Board.

Public Hearing Details:

Date: April 8th, 2025

Time: 7pm

Location: Sedgwick Town Office

As an abutter, you have the right to attend the public hearing, ask questions, and provide comment on the proposal. The Planning Board encourages public input and will consider all feedback as part of its review process.



ELLSWORTH
199 MAIN ST
ELLSWORTH, ME 04605-9998
(800)275-8777

03/28/2025 11:10 AM

Product	Qty	Unit Price	Price
First-Class Mail® Letter	1		\$0.73
Sedgwick, ME 04676 Weight: 0 lb 0.60 oz Estimated Delivery Date Mon 03/31/2025 Certified Mail® Tracking #: 9589 0710 5270 2577 9503 03 Return Receipt Tracking #: 9590 9402 8924 4064 8931 60			
Total			\$9.68
First-Class Mail® Letter	1		\$0.73
Sedgwick, ME 04676 Weight: 0 lb 0.60 oz Estimated Delivery Date Mon 03/31/2025 Certified Mail® Tracking #: 9589 0710 5270 2577 9503 10 Return Receipt Tracking #: 9590 9402 8924 4064 8931 77			
Total			\$9.68
First-Class Mail® Letter	1		\$0.73
South Portland, ME 04106 Weight: 0 lb 0.60 oz Estimated Delivery Date Mon 03/31/2025 Certified Mail® Tracking #: 9589 0710 5270 2577 9503 27 Return Receipt Tracking #: 9590 9402 8924 4064 8931 84			
Total			\$9.68
First-Class Mail® Letter	1		\$0.73
Deer Isle, ME 04627 Weight: 0 lb 0.60 oz Estimated Delivery Date Mon 03/31/2025 Certified Mail® Tracking #: 9589 0710 5270 2577 9503 34 Return Receipt Tracking #: 9590 9402 8924 4064 8932 07			
Total			\$9.68

Portsmouth, RI 02871
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® Tracking #: 9589 0710 5270 2577 9503 41
Return Receipt Tracking #: 9590 9402 8924 4064 8931 91

Total \$9.68
First-Class Mail® Letter 1 \$0.73

Blue Hill, ME 04614
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® Tracking #: 9589 0710 5270 2577 9503 58
Return Receipt Tracking #: 9590 9402 8924 4064 8932 90

Total \$9.68
First-Class Mail® Letter 1 \$0.73

Blue Hill, ME 04614
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® Tracking #: 9589 0710 5270 2577 9503 65
Return Receipt Tracking #: 9590 9402 8924 4064 8932 83

Total \$9.68
First-Class Mail® Letter 1 \$0.73

Sedgwick, ME 04676
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® Tracking #: 9589 0710 5270 2577 9503 72
Return Receipt Tracking #: 9590 9402 8924 4064 8932 76

Total \$9.68
First-Class Mail® Letter 1 \$0.73

Isle Au Haut, ME 04645
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® Tracking #: 9589 0710 5270 2577 9503 89
Return Receipt Tracking #: 9590 9402 8924 4064 8932 69

Total \$9.68
First-Class Mail® Letter 1 \$0.73

Brooksville, ME 04617
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® Tracking #: 9589 0710 5270 2577 9503 96
Return Receipt Tracking #: 9590 9402 8924 4064 8932 52

Total \$9.68

Letter
Sedgwick, ME 04676
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9504 02
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 45
Total \$9.68

First-Class Mail® 1 \$0.73

Letter
Brooksville, ME 04617
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9504 19
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 38
Total \$9.68

First-Class Mail® 1 \$0.73

Letter
Little Deer Isle, ME 04650
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9504 26
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 21
Total \$9.68

Grand Total: \$125.84

Debit Card Remit \$125.84

Card Name: MasterCard
Account #: XXXXXXXXXXXX3661
Approval #: 76B6BF
Transaction #: 453
Receipt #: 034126
Debit Card Purchase: \$125.84
AID: A0000000042203 Chip
AL: Debit
PIN: Verified

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to get the latest status. Standard Message
and Data rates may apply. You may also
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or scan this code with your mobile device,



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Isle Au Haut MF 04645

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Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$11.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.69	
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City, State, ZIP+4®		

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Little Deer Isle MF 04650

Certified Mail Fee	\$4.85	0605
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$11.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.69	
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Sedgewick MF 04671

Certified Mail Fee	\$4.85	0605
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$11.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.69	
Sent To		
Street and Apt. No., or PO Box No.		
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Brooksville MF 04411

Certified Mail Fee	\$4.85	0605
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$11.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.69	
Sent To		
Street and Apt. No., or PO Box No.		
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Blue Hill MF 04614

Certified Mail Fee	\$4.85	0605
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$11.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.69	
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Sedgewick MF 04671

Certified Mail Fee	\$4.85	0605
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$11.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.69	
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South Portland, ME 04106

Certified Mail Fee	\$4.35	0605 P Postmark Here MAR 28 2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.68	
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Portsmouth, RI 02871

Certified Mail Fee	\$4.35	0605 P Postmark Here MAR 28 2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.68	
Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

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Sedgewick, ME 04472

Certified Mail Fee	\$4.35	0605 P Postmark Here MAR 28 2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.68	
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Street and Apt. No., or PO Box No.		
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Deer Isle, ME 04827

Certified Mail Fee	\$4.35	0605 P Postmark Here MAR 28 2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.68	
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Ripe Hill, ME 04614

Certified Mail Fee	\$4.35	0605 P Postmark Here MAR 28 2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.68	
Sent To		
Street and Apt. No., or PO Box No.		
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Sedgewick, ME 04472

Certified Mail Fee	\$4.35	0605 P Postmark Here MAR 28 2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
Total Postage and Fees	\$9.68	
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SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Department of Human Services Division of Health Engineering, Station 10 (207) 287-5672 FAX (207) 287-4172	
PROPERTY LOCATION		>> Caution: Permit Required - Attach in Space Below <<	
City, Town, or Plantation	SEDGWICK	SEDGWICK	
Street or Road	RT. 15	Date Permit Issued: 5/10/02	
Subdivision, Lot #		PERMIT # 587 APPLICANTS COPY	
OWNER/APPLICANT INFORMATION		FEE <input type="checkbox"/> Double Fee Charged	
Name (last, first, MI)	ALLEN, SUE & SPENCER	Local Plumbing Inspector Signature: [Signature]	
Mailing Address of	28 BAGADUCE RD.	L.P.I. # 13216	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant	BROOKSVILLE, ME 04617	THE WORK SPECIFIED IN THIS APPLICATION IS HEREBY AUTHORIZED TO BE INSTALLED IN ACCORDANCE WITH THE RULES. THIS PERMIT EXPIRES AFTER TWO YEARS FROM DATE ISSUED UNLESS WORK HAS COMMENCED.	
Daytime Tel. #	326-4108	Municipal Tax Map # _____ Lot # _____	
Owner or Applicant Statement I state that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		Caution: Inspections Required I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant _____ Date _____		Local Plumbing Inspector Signature: [Signature] (1st) Date Approved 5-10-02 (2nd) Date Approved _____	
PERMIT INFORMATION			
TYPE OF APPLICATION 1. <input checked="" type="checkbox"/> First Time System 2. <input type="checkbox"/> Replacement System Type Replaced: _____ Year Installed: _____ 3. <input type="checkbox"/> Expanded System a. <input type="checkbox"/> One-time exempted b. <input type="checkbox"/> Non-exempted 4. <input type="checkbox"/> Experimental System 5. <input type="checkbox"/> Seasonal Conversion		THIS APPLICATION REQUIRES 1. <input checked="" type="checkbox"/> No Rule Variance 2. <input type="checkbox"/> First Time System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 3. <input type="checkbox"/> Replacement System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 4. <input type="checkbox"/> Minimum Lot Size Variance 5. <input type="checkbox"/> Seasonal Conversion Approval	
SIZE OF PROPERTY ~ 39 <input type="checkbox"/> sq. ft. <input type="checkbox"/> acres		DISPOSAL SYSTEM COMPONENT(S) 1. <input checked="" type="checkbox"/> Complete Non-engineered System 2. <input type="checkbox"/> Primitive System (graywater & alt toilet) 3. <input type="checkbox"/> Alternative Toilet, specify: _____ 4. <input type="checkbox"/> Non-Engineered Treatment Tank (only) 5. <input type="checkbox"/> Holding Tank, _____ gallons 6. <input type="checkbox"/> Non-engineered Disposal Field (only) 7. <input type="checkbox"/> Separated Laundry System 8. <input type="checkbox"/> Complete Engineered System (2000 gpd or more) 9. <input type="checkbox"/> Engineered Treatment Tank (only) 10. <input type="checkbox"/> Engineered Disposal Field (only) 11. <input type="checkbox"/> Pre-treatment, specify: _____ 12. <input type="checkbox"/> Miscellaneous components	
SHORELAND ZONING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		DISPOSAL SYSTEM TO SERVE 1. <input type="checkbox"/> Single Family Dwelling Unit, No. of Bedrooms: _____ 2. <input type="checkbox"/> Multiple Family Dwelling, No. of Units: _____ 3. <input checked="" type="checkbox"/> Other: GOLF CENTER SERVING FOOD SPECIFY _____	
TYPE OF WATER SUPPLY 1. <input checked="" type="checkbox"/> Drilled Well 2. <input type="checkbox"/> Dug Well 3. <input type="checkbox"/> Private 4. <input type="checkbox"/> Public 5. <input type="checkbox"/> Other: _____			
DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK 1. <input checked="" type="checkbox"/> Concrete a. <input type="checkbox"/> Regular b. <input type="checkbox"/> Low Profile 2. <input type="checkbox"/> Plastic 3. <input type="checkbox"/> Other: _____ CAPACITY 1000 gallons		DISPOSAL FIELD TYPE & SIZE 1. <input type="checkbox"/> Stone Bed 2. <input type="checkbox"/> Stone Trench 3. <input checked="" type="checkbox"/> Proprietary Device a. <input type="checkbox"/> Cluster array c. <input type="checkbox"/> Linear b. <input type="checkbox"/> Regular load d. <input type="checkbox"/> H-20 load 4. <input type="checkbox"/> Other: _____ SIZE 296 sq. ft. <input type="checkbox"/> lin. ft.	
SOIL DATA & DESIGN CLASS PROFILE CONDITION DESIGN 21 C 11 at Observation Hole # 1 Depth 1.5' Elevation _____ OF MOST LIMITING SOIL FACTOR		GARBAGE DISPOSAL UNIT 1. <input type="checkbox"/> No 3. <input checked="" type="checkbox"/> Maybe 2. <input type="checkbox"/> Yes >> Specify one below: a. <input type="checkbox"/> Multi-compartment Tank b. <input type="checkbox"/> Tanks in Series c. <input type="checkbox"/> Increase in Tank Capacity d. <input type="checkbox"/> Filter on Tank Outlet	
DISPOSAL FIELD SIZING 1. <input type="checkbox"/> Small - 2.0 sq. ft./gpd 2. <input type="checkbox"/> Medium - 2.6 sq. ft./gpd 3. <input checked="" type="checkbox"/> Medium-Large - 3.3 sq. ft./gpd 4. <input type="checkbox"/> Large - 4.1 sq. ft./gpd 5. <input type="checkbox"/> Extra Large - 5.0 sq. ft./gpd		PUMPING 1. <input type="checkbox"/> Not Required 2. <input checked="" type="checkbox"/> May Be Required 3. <input type="checkbox"/> Required >> Specify only for engineered or experimental systems: DOSE: _____ gallons	
DESIGN FLOW 270 gallons per day BASED ON: 1. <input type="checkbox"/> Table 501.1 (dwelling unit(s)) 2. <input checked="" type="checkbox"/> Table 501.2 (other facilities) SHOW CALCULATIONS - for other facilities - SEE P. 2		3. <input type="checkbox"/> Section 503.0 (meter readings) ATTACH WATER-METER DATA	
SITE EVALUATOR STATEMENT Certify that on 3/10/02 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).			
Site Evaluator Signature: [Signature]		308 SE # 4/25/02 Date	
JANE M. MAGIERA Site Evaluator Name Printed		166-1725 Telephone #	

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207) 287-5672 FAX (207) 287-4172

Town, City, Plantation
SEOGWICK

Street, Road Subdivision
RT. 15

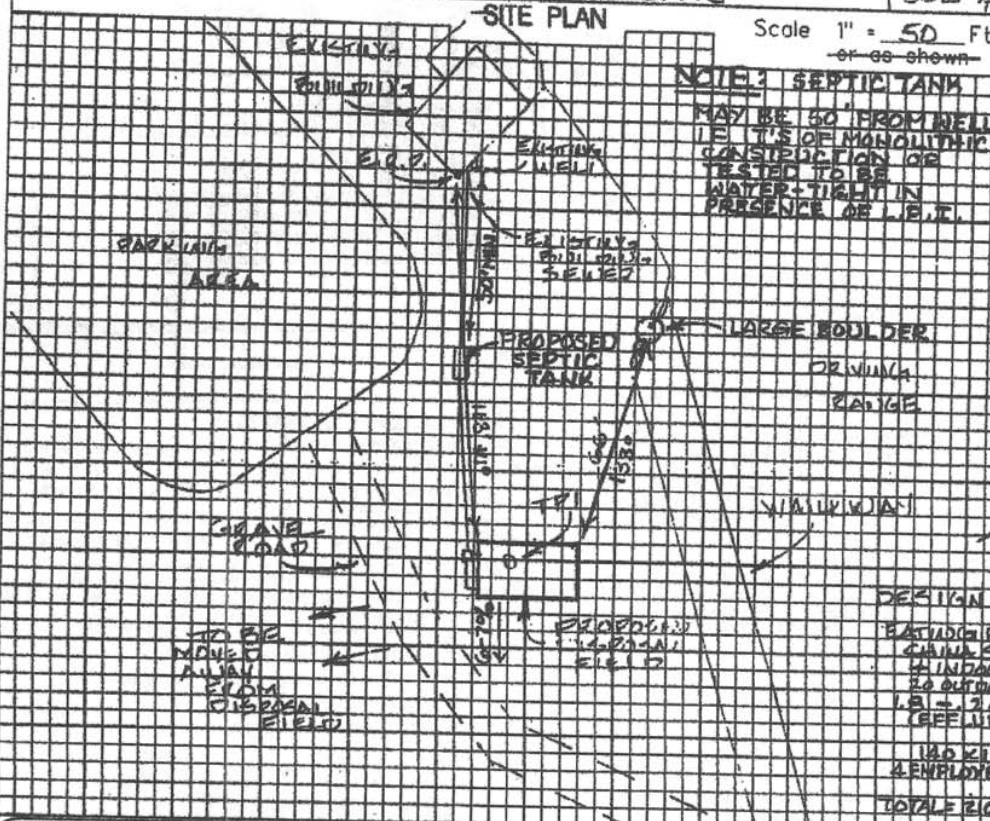
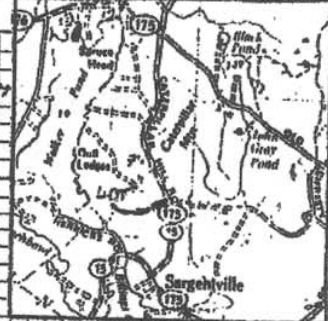
Owner's Name
SUE & SPENCER ALLEN

SITE PLAN

Scale 1" = 50 Ft.
or as shown

SITE LOCATION PLAN

NOTE: SEPTIC TANK
MAY BE 50' FROM WELL
IF IT'S OF MANHOLE TYPE
CONSTRUCTION OR
TESTED TO BE
WATER-TIGHT IN
PRESENCE OF L.E.T.



DESIGN FLOW:

BATHING PLACE - NO FULL MEN'S, NO
CHILD SERVICE
KITCHEN SINKS & TOILETS & SINKS
TO OUTSIDE DRAINAGE TYPICAL
1.5 x 2 (2000 GPD CAPACITY) x 1
(EFFLUENT FILTER) x 1
140 K15 = 210 GPD
4 EMPLOYEES @ 15 GPD/PERSON = 60 GPD
TOTAL = 200 GPD + 60 GPD = 260 GPD

SOIL DESCRIPTION AND CLASSIFICATION

(Location of Observation Holes Shown Above)

Observation Hole AP1 ☒ Test Pit ☐ Boring
0" Depth of Organic Horizon Above Mineral Soil

Observation Hole ☐ Test Pit ☐ Boring
" Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
FINE SANDY LOAM	FRIABLE	DR. BR. (10R 4/4) DR. YELL. BROWN (10YR 4/4) OLIVE (5Y 4/4)	MAINTAINED DISTINCT GRAY

Texture	Consistency	Color	Mottling

Soil Classification 3 C Slope 6-7% Limiting Factor 15"
Profile Condition
☒ Ground Water
☐ Restrictive Layer
☐ Bedrock
☐ Pit Depth

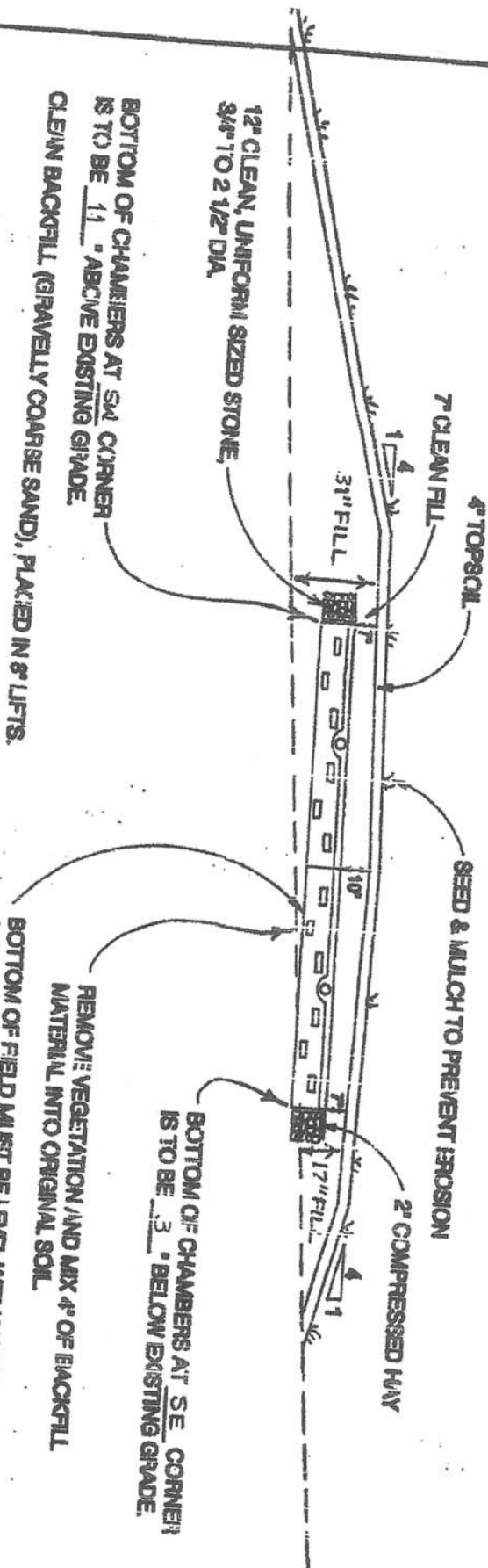
Soil Classification Slope Limiting Factor
Profile Condition %
☐ Ground Water
☐ Restrictive Layer
☐ Bedrock
☐ Pit Depth

Site Evaluator Signature

210
SE

4/25/02
Date

FLOW DIFFUSOR LEACHING CHAMBER CROSS SECTION (Across A-B)



NOTES:

1. GRADE AREA TO DIRECT RUN-OFF AROUND DISPOSAL FIELD.
2. SEE ALSO ATTACHED DESIGN NOTES.

Sue E. Spencer
SITE EVALUATOR'S SIGNATURE:

268
S.E.#

OWNER: SUE E. SPENCER ALLEN
LOCATION: SEDGWICK

4/25/02
DATE

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Department of Human Services Division of Health Engineering (207) 287-3572 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner's Name SUE ESPENKER ALLEN
SUBSURFACE WASTEWATER DISPOSAL PLAN		SCALE 1" = 20 FT.

ELEVATION REFERENCE POINT

POINT

DISTRIBUTION BOX - SET

LEVEL ON FIRM BASE

PROTECT FROM FREEZING.

6\"/>

DISPOSAL FIELD - CONSISTING OF 14 FLOWDIFFUSOR LEACHING CHAMBERS. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

FILL REQUIREMENTS		CONSTRUCTION ELEVATIONS		ELEVATION REFERENCE POINT
Depth of Fill (Upslope)	21"	Finished Grade Elevation	-41"	Location & Description BOTTOM OF SIDING AT CORNER OF BUILDING. Reference Elevation 0"
Depth of Fill (Downslope)	35"	Top of Distribution Pipe or Proprietary Device	-52"	
		Bottom of Disposal Area	-65"	

DISPOSAL AREA CROSS SECTION

(SEE ATTACHED CROSS SECTION A-B)

[Signature]

Site Evaluator Signature

2003

SE

4/25/02

Date

Page 3 of 3

HHE-200 Rev. 7/97

DESIGN NOTES

SUE & SPENCER ALLEN

* The "Dig Safe Law" 23 M.R.S.A. S3360-A(D) places certain notification requirements on any person doing excavations. Excavation is broadly defined to mean any operation in which earth, rock or other material on or below the ground is moved or otherwise displaced by means of power tools, power equipment or explosives and including grading, trenching, digging, ditching, drilling, augering, tunnelling, scraping and cable or pipe driving, except tilling of the soil and gardening or agricultural purposes. Tel.: 1-888-344-7233.

Septic Tank: Setback requirements which must be met when installing a septic tank include the following (unless reduced by variance): 100 ft. from wells (may be reduced to 50 ft. from the owner's well if the tank is tested in the LPI's presence and shown to be water tight or of monolithic construction); 100 ft. from high water mark of major waterbodies; (may be reduced to 50 ft. if the tank is tested in the LPI's presence and shown to be water tight or of monolithic construction); 50 ft. from minor waterbodies; 25 ft. from man-made drainage ditches; 10 ft. from property lines; 10 ft. from water supply lines; 8 ft. from buildings, and 25 ft. from graveyards. All piping entering or leaving a septic tank must have ends cut flush with the inside walls of the septic tank. Septic tanks, holding tanks, pumping chambers and distribution box inlet and outlets must be grouted with a non-shrink cement product (hydraulic cement) so they are made water-tight. Plug the hole in the bottom of the tank. Tanks installed under a driveway, parking lot, in heavy saturated soil or other areas subject to heavy loads must be H-20 rated. The fill material around septic tanks, dosing tanks, holding tanks, and external grease interceptors must be free of large stones, roots, or foreign objects. It shall be thoroughly tamped in a manner that will avoid undue strain on the septic tank. For pre-fabricated plastic or fiberglass tanks, the fill material shall not be thicker than the thickness recommended by the manufacturer. Provisions shall be made to prevent surface and subsurface water from entering the tank. All tanks must be set level on a layer of clean sand, gravel, or stone. This material shall extend at least 4 inches beyond the base of the tank. Installation of a water tight riser with an insulated cover over the cleanout cover of the tank greatly facilitates maintenance. Garbage disposals should not be used unless extra capacity has been designed into the system specifically for the garbage disposal.

Connecting pipes and delivery pipes: The pipes shall be sized to serve the connected fixtures but in no case may be less than 3 inches in diameter. Pipes shall be constructed of: Polyvinyl Chloride plastic (ASTM D 2665), Schedule 40, SDR-21, SDR-26, or SDR-35; or Acrylonitrile-Butadiene-Styrene plastic (ASTM 2661); or Polyethylene, straight wall (ASTM D-1248); or Ductile cast-iron; or other materials permitted by DHE. All pipe joints shall be made water-tight. All joints should be tight enough to prevent entry by roots. Pipes shall be laid on a firm foundation satisfactory to the plumbing inspector. Pipes shall be protected from freezing if there is any possibility of liquid remaining in the pipes. At least one cleanout shall be provided for every 100 feet of connecting pipe. For gravity flow from the building to the septic tank, maintain a minimum pitch of 1/4" per ft. Minimum pitch of the gravity effluent line is 1/8" per ft. Connecting pipe shall be laid in a continuous grade and as nearly as possible in a straight line. Drop manholes may be installed if found necessary. Horizontal bends, where required shall not be sharper than 45 degrees. The inside angle between adjacent sections of pipe shall be no less than 130 degrees. All plastic piping between the building drain and disposal field shall be at least SDR 35.

Distribution box: The distribution box shall be set perfectly level on a firm base, and carefully backfilled to prevent settlement. A separate outlet shall be provided for each distribution pipe. The inverts of all outlets shall be rigidly set at the same level a minimum of 2" above the bottom of the distribution box. When installation is complete, the distribution box shall be checked to make sure that it is level. No outlet pipe may receive more water than any other. Check to make sure that the water rests equally at the invert of each pipe. Necessary adjustments shall be made to ensure that all outlets are permanently and securely fixed at exactly the same elevation prior to backfilling. Distribution boxes shall be provided with a means of access. In the case of smaller boxes, access may be made by a removable lid. Access openings shall be adequate in size and located to facilitate removal of accumulated solids and inspection of the inlet and all outlets. All access openings shall be extended to within 12" to 18" of the finished grade surface. Access openings shall be constructed in a manner that prevents the entrance of water. In cases where the distribution box will be installed higher than the maximum expected depth of frost penetration, distribution boxes shall be surrounded by 2" of high density expanded rigid polystyrene to give protection against frost penetration and freezing.

Distribution pipes: Distribution pipes shall be a minimum of 3 inches in diameter and shall be constructed of Acrylonitrile-Butadiene-Styrene (ASTM D-2751); Polyvinyl Chloride (ASTM D-2729, D-3034); Styrene-Rubber (ASTM D-2852, D-3298); or Polyethylene, straight wall (ASTM D-1248). Distribution pipes shall consist of lengths of rigid, perforated pipes connected with tight joints. There shall be two rows of evenly spaced perforations running the length of the distribution pipe which shall be on each side of the pipe, midway between the invert and the center line that separates the upper and lower halves of the pipe. Perforations shall be no smaller than 3/8 inch and no larger than 3/4 inch in diameter. Each individual distribution pipe shall be set level, not to exceed a slope of 2 inches in 100 feet.

DESIGN NOTES con't.

Disposal area: Setback requirements are the same as for septic tanks (unless reduced by variance) except the disposal area must be 20 ft. from a building with a basement and 15 ft. from a building without a basement, and the edge of the fill extension must be 25 ft. from coastal or special freshwater wetlands, great ponds, rivers, and streams.

On sites with fine soil textures, excavations that expose the bottom and sidewall area of the disposal field shall not be carried out when the soil moisture content is above the plastic limit except when correcting a nuisance, there is no practical alternative, the plumbing inspector agrees and special construction techniques are used. The absolute plastic limit can be estimated by rolling the soil with the fingers. If the soil forms a wire or rod $1/8"$ in diameter and does not crumble when handled, the soil moisture content is too high to proceed with the excavation. Additionally, disposal fields should not be installed in frozen ground or when the ambient air temperature is below freezing, especially if construction will take place over several days.

In areas adjacent to a water body or wetlands, preventative erosion control and sediment control measures should be employed consistent with Section 1504.0.

Vegetation shall be cut and removed from the area where backfill material is to be placed. Boulders, large stones, and stumps shall also be removed from these areas. If large holes are left, they shall be filled with suitable backfill material. Where possible, the area under the disposal field and backfill extensions shall be plowed or disked to produce a thoroughly roughened surface. Plowing shall be done parallel to the topographic contour in such a direction that each plow furrow will be thrown upslope. The soil should be broken up to a depth of 6 to 8 inches. Alternatively, a rototiller or the teeth of a backhoe may be used. On sites where the backfill material is coarser than the original soil, a minimum of 4" of backfill materials must be mixed (by plowing, disking, or rototilling) into the original soil to form a transitional horizon. Surface water shall be diverted away from the disposal field site.

Excavation shall be carried out in a manner that will avoid compaction of the leaching interface (both sidewalls and bottom areas.) Heavy equipment, especially rubber-tired vehicles such as front-end loaders, should not be driven over the exposed bottom of the disposal field. Excavation should be carried out whenever possible, by a backhoe operating from outside the perimeter of the previously excavated portions of the disposal field. If any portion of the bottom or sidewall becomes smeared or compacted, that portion must be scarified to reopen soil pores. Rototilling may be necessary to reach the limit of compacted soil depth. Work should be scheduled so that excavated areas are not exposed to rainfall or wind-blown silt. Any loose soil or debris that is washed or otherwise deposited within the excavation shall be carefully removed prior to backfilling. The bottom of the disposal field shall be installed at the elevation specified on the application. It shall be maintained to a level grade no greater than 2 inches per 100 feet. (The bottom of the disposal field serves as the final stage of the distribution network.)

Stone (when used) shall cover the distribution pipes and extend the full width and length of the disposal field. The disposal field stone shall be clean, free of fines, dust, ashes, or clay. It shall be no smaller than $3/4$ inch and no larger than $2 1/2$ inches in size. Stone may be loaded onto the disposal field site using a backhoe, front-end loader, or dump truck. This operation shall be carried out from the sides of the disposal field rather than by driving onto the bottom of the disposal field. In the case of large disposal fields, tracked equipment may be operated within the disposal field. The equipment shall not exert a ground pressure in excess of eight pounds per square foot. The disposal field stone shall be pushed in front of the vehicle such that a minimum of one foot of stone is maintained beneath the vehicle track and the original soil surface.

Stone shall be completely covered with a minimum 2" layer of compressed hay as the laying of the distribution pipes progresses. Filter fabric may be used provided that edges of adjacent sheets of fabric overlap by a minimum of 6 inches and the filter fabric has adequate tensile strength to prevent ripping during installation and backfilling; adequate air permeability to allow free passage of gases; and adequate particle retention to prevent downward migration of soil particles into the disposal field. The minimum physical properties for the fabric shall be 4.0 ounces/square yard (per ASTM D-3776). The use of water-proof paper is prohibited.

Immediately above the filter fabric, hay or proprietary device, backfill is required. It shall be a minimum of 8 inches in thickness, (including cover material) and placed in 8" lifts and compacted as placed in a uniform manner with a tracked vehicle. The backfill material shall be a coarse sand to a gravelly coarse sand which meets the following requirements: The upper limit of rocks greater than 3 inches in diameter shall be approximately 5% by volume; and the soil texture for backfill is coarse sand to gravelly coarse sand with approximately 4 to 8 percent of the sand, silt and clay fraction passing a #200 sieve. The upper limit of clay sized particles in the sand, silt, and clay fraction shall be approximately 2%. The backfill shall contain approximately 15% to 3% (by weight) coarse fragments (gravel 2mm to 3 inches). Due to the difficulty of obtaining sieve analyses and the variability of backfill material, the following procedures can be used in the field to determine the suitability of backfill material. The backfill is suitable if the soil texture is loose single grains, the individual sand grains can be readily seen (similar to salt or sugar grains) and felt, and the following conditions are observed: If squeezed in the hand when dry, it will fall apart when the pressure is released but has enough fines to stain the lines in the palm of the hand; or if squeezed when moist, it will form a cast that will crumble when touched and bears very careful handling; and it does not form a ribbon between the thumb and forefinger but has enough fines to stain the lines in the palm of the hand.

At least 4 inches of soil or soil/soil amendment mix suitable for establishment of a good vegetative cover shall be placed over the entire filled area including the fill material extensions.

DESIGN NOTES con't.

Proprietary devices approved by the Department of Human Services as substitutes for disposal field stone and perforated distribution pipes shall be installed per the manufacturer's instructions. Maximum tolerance of distribution pipes or proprietary devices shall be no more than 2" in 100'.

All ground disturbance occurring within 100 feet of a coastal wetland, freshwater wetland, great pond, or water course shall comply with the minimum standards set forth in Section 1504.0. Activities that cannot meet all the minimum standards set forth in this chapter are subject to permit requirements under the Natural Resources Protection Act administered by the Maine Department of Environmental Protection. Where sustained slopes are less than 20%, a 25 foot setback shall be maintained between the normal high water line or upland edge of a coastal wetland, freshwater wetland, great pond, or major waterbodies/courses (whichever is more restrictive) and any soil disturbance activity; and where sustained slopes exceed 20%, a 100 foot setback shall be maintained between the normal high water line or upland edge of the coastal wetland, freshwater wetland, great pond, or waterbodies/courses (whichever is more restrictive) and any soil disturbance activity. Upland surface water runoff shall be diverted around the soil disturbance activity. Existing vegetation within the 25 foot setback zone shall remain undisturbed except when removal is required for the maintenance, repair or installation of a replacement system.

Wetlands vegetation shall not be destroyed or permanently removed, if at all possible. If wetlands vegetation shall be disturbed during the project, it shall be reestablished immediately upon completion of the work and shall be maintained. This standard shall not apply to fill for disposal; areas required for replacement of wastewater disposal systems. Prior to the start of a soil disturbance activity, erosion control measures such as staked hay bales, or silt fence shall be properly installed and adequately maintained for the duration of the project, to prevent the wash of materials into the resource. Disturbed soil shall be stabilized as soon as practical, upon activity completion.

In addition to placement of riprap, sod, erosion control blankets or mulch, additional steps shall be taken where necessary, in order to prevent sedimentation of the water. Evidence of sedimentation includes visible gully erosion, discoloration of water by suspended particles and slumping of banks. Silt fences, staked hay bales and other sedimentation control measures, where planned for, shall be in place prior to commencement of work but shall also be installed whenever necessary due to sedimentation. Mulch or other temporary erosion control measures shall be maintained until the site is permanently stabilized with vegetation or other permanent control measures. All disturbed areas are to be mulched with hay or straw at a rate of 1 bale per 500 sq. ft. and shall be seeded to establish vegetation to prevent erosion. Grass, clover, trefoil, vetch, perennial wildflowers, or other herbaceous perennials may be used for disposal area surfaces. Woody shrubs or trees are unacceptable. Woody shrubs in conjunction with a hardy perennial ground cover may be used on fill extensions.

The land adjacent to the disposal area shall be graded to prevent both the accumulation of surface water on the disposal area, and the flow of surface water across it. Cellar and perimeter foundation drains should discharge away from the disposal area. Do not park or drive vehicles on septic system unless the system consists of H-20 rated components.

All system components (particularly pump and gravity lines, septic tank and distribution box) installed in exposed areas with little or no snow cover, and/or less than 4' depth of fill cover, shall be protected against freezing or frost action.

Pumped systems: Pump stations shall be equipped with an audible high level alarm installed on a different electrical circuit from the pump in a location that will be readily detected by the owner/user. The pipes shall be sized to serve the pump but in no case may have a diameter of less than that required by the manufacturer. Distribution boxes that have effluent pumped to them should be connected to the pump line by a hole fashioned in the bottom of the D-box which is then grouted to be water-tight. This will help prevent freezing. Remove and drain the pump unit from the lift station during long periods of non-use, such as with dwellings that may be idle all winter.

System maintenance: Water conservation and the installation of low flow fixtures will benefit your system. Any drips or leaks that develop should be repaired immediately. Running excessive amounts of water or running several water-using appliances at the same time can overload your system and cause sediment from the septic tank to wash out into the disposal field which could cause it to fail.

The septic tank should be inspected every two to three years and pumped when the sludge and scum occupies 33% of the tank's liquid capacity, in order to prevent clogging of the disposal area and failure of the system. Do not add any septic tank cleaner or additive to your septic system (this includes yeast, or commercial products). No effective product or material is recognized by state authorities and, in fact, some of these products can actually cause your system to fail. Chemicals (i.e. paint, paint thinner, commercial grease and oil, darkroom chemicals, etc.), other than normal household cleaners, shall not be disposed of in the septic system.

Drainage from basement floors, footings or roofs shall not enter into the system and shall be diverted away from the disposal area. DEP permits may be required for some drains. Hot tubs, backwash from water softeners, and similar water treatment equipment shall not discharge into any disposal system utilized for any other wastewater, but may be discharged into a separate laundry disposal field designed for this purpose. Discharge of industrial wastes onto the land, into the soil, or into ground water is prohibited except as permitted by DEP. Abandoned wells shall not be utilized for the disposal of wastewater.

BK: OR 7359 PAGE: 243 # OF PGS: 4
12/03/2024 03:06:49 PM Inst # 2024015292
JULIE A. CURTIS, REGISTER OF DEEDS
HANCOCK COUNTY MAINE
MAINE REAL ESTATE TRANSFER TAX PAID
eRecorded Document

WARRANTY DEED

DLN#: 2116429

SPENCER K. ALLEN and SUSAN C. ALLEN, husband and wife, both having a mailing address of 28 Bagaduce Road, Brooksville, Maine 04617 and NATASHA M. ALLEN, having a mailing address of 28A Bagaduce Road, Brooksville, Maine 04617, for consideration paid, GRANT to HIDEOUT HOUSE ACADIA LLC, a Maine limited liability company, having a mailing address of 13 Greenhead Lane, Stonington, Maine 04681, with WARRANTY COVENANTS, a certain lot or parcel of land, together with the buildings and improvements thereon, situated in Sedgwick, Hancock County, Maine, bounded and described as follows:

Beginning at a $\frac{3}{4}$ inch iron rod with surveyor's ID #2097 near the southwesterly sideline of Caterpillar Hill Road also known as Route 15 and further also known as Route 176, said rod at the southeasterly line of land conveyed in a deed from George Gray personal representative of the estate of Homer W. Gray to Billings & Webb Construction, Inc. dated January 16, 2004 and recorded in Book 3830, Page 229 at Hancock County Registry of Deeds, and also being at the northwesterly line of land conveyed in a deed from Spencer K. Allen and Susan C. Allen to Natasha M. Allen dated November 28, 2012 and recorded in Book 5951, Page 227 at said Registry;

thence South thirty-one degrees fifty-four seconds East (S. $31^{\circ} 54' 00''$ E.) generally by and along the southwesterly sideline of said Caterpillar Hill Road six hundred forty and ninety hundredths (640.90) feet to a $\frac{3}{4}$ inch iron rod with surveyor's ID #2221;

thence South sixty-seven degrees forty-three minutes nine seconds West (S. $67^{\circ} 43' 09''$ W.) by and along a remaining portion of land conveyed in a deed from Spencer K. Allen and Susan C. Allen to Natasha M. Allen dated November 28, 2012 and recorded in Book 5951, Page 227 at said Registry one hundred ninety-nine and forty-nine hundredths (199.49) feet to a $\frac{3}{4}$ inch iron rod with surveyor's ID #2221 set;

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thence South fourteen degrees nine minutes ten seconds East (S. $14^{\circ} 09' 10''$ E.) by and along said remaining land of Allen marked in part by a rock wall five hundred eighty-six and sixty-four hundredths (586.64) feet to a $\frac{3}{4}$ inch iron rod with surveyor's ID #2221 set near the end of a rock wall running generally easterly;

thence South seventy-five degrees zero minutes thirty-five seconds West (S. $75^{\circ} 00' 35''$ W.) by and along said remaining land of Allen six hundred forty-four and seventeen hundredths (644.17) feet to $\frac{3}{4}$ inch iron rod with surveyor's ID #2221 set;

thence North fifty-six degrees twenty-three minutes thirty-one seconds West (N. $56^{\circ} 23' 31''$ W.) by and along land conveyed in a deed from Stanton A. Waterman to David E. and Rozella M. Webb dated July 27, 1977 and recorded in Book 1301, Page 471 at said Registry three hundred twenty-two and forty-one hundredths (322.41) feet to a $\frac{3}{4}$ inch iron rod with surveyor's ID #2097;

thence North forty-four degrees thirty-six minutes thirty-seven seconds West (N. $44^{\circ} 36' 37''$ W.) by and along land conveyed in a deed from Sarah Patten Gwynn and Emma Patten Casey to Blue Hill Heritage Trust dated December 24, 2001 and recorded in Book 3222, Page 45 at said Registry one hundred eighty-four and eighty-eight hundredths (184.88) feet to a $\frac{3}{4}$ inch iron rod with surveyor's ID #2097;

thence North thirty-four degrees forty minutes forty-five seconds East (N. $34^{\circ} 40' 45''$ E.) by and along said land of Billings & Webb Construction one thousand two hundred seventy and eighty-eight hundredths (1270.88) feet to the point of beginning.

Containing seventeen and seventy-six hundredths (17.76) acres more or less.

Together with any land lying between the above described and the generally westerly sideline of said Caterpillar Hill Road.

Excepting any portion of land contained within the above described taken by the Maine Department of Transportation in a Notice of Layout and Taking dated October 3, 2001 and recorded in Book 3165, Page 299 at said Registry.

Bearings mentioned above are oriented to Maine State Grid CS2000 Central Zone.

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The above description of land is taken from a boundary survey for Caleb Scott dated September 27, 2024 prepared by Richard I. Bowden, Maine Professional Land Surveyor #2221.

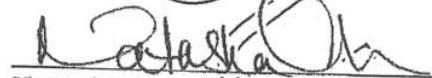
MEANING AND INTENDING TO CONVEY and hereby conveying a portion of the premises conveyed in the following deeds:

1. Deed from Wayne R. Allen to Susan C. Allen dated May 7, 1997, recorded at the Hancock County Registry of Deeds in Book 2650, Page 502;
2. Deed from Kermit P. Allen to Spencer K. Allen dated December 24, 1996, recorded at said Registry in Book 2626, Page 118;
3. Deed from Wayne R. Allen to Spencer K. Allen and Susan C. Allen, dated December 29, 1998, recorded at said Registry in Book 2796, Page 661, and;
4. Deed from Spencer K. Allen and Susan C. Allen to Natasha M. Allen, dated November 28, 2012, recorded at said Registry in Book 5951, Page 227.

WITNESS our hands and seals this 25 day of November, 2024.


Spencer K. Allen


Susan C. Allen


Natasha M. Allen

Book: OR 7359 Page: 246 Instrument #: 2024015292

STATE OF MAINE
COUNTY OF HANCOCK

November 25, 2024

Then personally appeared the above-named SPENCER K. ALLEN and SUSAN C. ALLEN and acknowledged the foregoing instrument to be their free act and deed.

Before me,

Ellen S. Best
Notary Public

Print name of Notary

My commission expires:

ELLEN S. BEST
Notary Public, State of Maine
My Commission Expires May 08, 2028

STATE OF MAINE
COUNTY OF HANCOCK

November 25, 2024

Then personally appeared the above-named NATASHA M. ALLEN and acknowledged the foregoing instrument to be her free act and deed.

Before me,

Ellen S. Best
Notary Public

Print name of Notary

My commission expires:

ELLEN S. BEST
Notary Public, State of Maine
My Commission Expires May 08, 2028

Main File No. Shoreland Zoning Page #7

FOR OFFICE USE ONLY
PERMIT NO.
ISSUE DATE:
FEE AMOUNT:

TOWN OF SEDGWICK, MAINE
SITE PLAN REVIEW PERMIT APPLICATION

GENERAL INFORMATION

1 APPLICANT CALEB SCOTT	2 APPLICANT ADDRESS 17 GREENHEAD LN. WINNINGTON ME. 04681	3 APPLICANT TELEPHONE 207-469-5990
4 PROPERTY OWNER HIDEOUT HOGUE ACADIA LLC	5 OWNER'S ADDRESS ↑	6 OWNER'S TELEPHONE ↑
7 CONTRACTOR	8 CONTRACTOR'S ADDRESS	9 CONTRACTOR'S TELEPHONE
10 LOCATION ADDRESS OF PROPERTY 232 CATERPILLAR HILL RD SEDGWICK, ME. 04676	11 TAX MAP PAGE & LOT # MAP 2 LOT 35	12 ZONING DISTRICT
13 DESCRIPTION OF PROPERTY INCLUDING A DESCRIPTION OF ALL PROPOSED CONSTRUCTION (i.e., LAND CLEARING, ROAD BUILDING, SUPERSTRADE, AND OTHERS). PLEASE NOTE THAT A SITE PLAN SKETCH IS REQUIRED ON PAGE 4		
<p style="text-align: center;">SEE ATTACHED FERNCREST ACADIA CAMP GROUND SITE PLAN - PAGE 4</p>		
14 ESTIMATED COST OF PROJECT CAMP GROUND	15 ESTIMATED COST OF CONSTRUCTION \$ 800,000	

Main File No. Shoreland Zoning Page #8

TOWN OF SEDGWICK, MAINE

SITE PLAN REVIEW PERMIT APPLICATION

PROPERTY INFORMATION

16. LOT AREA 17.76 ACRES	17. FRONTAGE ON ROAD (FT) 641
18. 50 FT. OF LOT TO BE COVERED BY NON-VEGETATED SURFACES	19. ELEVATION ABOVE 100 YR. FLOOD N/A
20. FRONTAGE ON WATERBODY (FT)	21. HEIGHT OF PROPOSED STRUCTURE(S) UP TO 15'
22. EXISTING USE OF PROPERTY MINI GOLF / TAKE-OUT	23. PROPOSED USE OF PROPERTY CAMPGROUND
24. LANDSCAPING CHANGES TO OCCUR SEE ATTACHED	25. STORM WATER MANAGEMENT PLAN NO
26. SET BACK FROM PROPERTY LINES (FT) SEE ATTACHED SITE PLAN	27. IS THIS NOW OR HAS IT BEEN A HISTORIC SITE? NO
28. WILL SCENIC AREAS BE EFFECTED NO	29. WILL THERE BE STORAGE AREAS LOCATED ON THE PROPERTY? NO
30. WILL THERE BE ADDITIONAL EXTERIOR LIGHTING? NO	31. WILL THERE BE NEW OR ADDITIONAL ADVERTISING SIGNS? YES
32. IS THERE ADEQUATE VEHICLE ACCESS AND PARKING? YES -	33. ARE THERE PROVISIONS FOR EMERGENCY VEHICLE ACCESS? YES
34. WILL EXISTING SURFACE DRAINAGE BE IMPROVED OR ALTERED? YES	35. IS THERE A SOIL EROSION PLAN? NO
36. WILL FEDERAL & STATE REGULATIONS ON AIR QUALITY BE INVOLVED? NO	37. IS SUFFICIENT WATER SUPPLY AVAILABLE? YES SEE PGS 35-36
38. WILL A NEW SEWAGE DISPOSAL SYSTEM BE REQUIRED? YES	39. WILL INDUSTRIAL ACTIVITY BE INVOLVED? NO
40. WILL THERE BE MORE THAN ONE COMMERCIAL ACTIVITY INVOLVED? YES CAMPGROUND + MINI GOLF	

Map File No. Shoreland Zoning Page #9

SITE PLAN

PLEASE INCLUDE LOT LINES, AREA TO BE CLEARED OF TREES AND OTHER VEGETATION, THE EXACT POSITION OF PROPOSED STRUCTURES INCLUDING DECKS, PORCHES, AND OUTBUILDINGS WITH ACCURATE SETBACK DISTANCES FROM THE SHORELINE, SIDE AND REAR PROPERTY LINES, THE LOCATION OF PROPOSED WELLS, SEPTIC SYSTEMS, AND DRIVEWAYS, AND AREAS AND AMOUNTS TO BE FILLED OR GRADED. IF THE PROPOSAL IS FOR THE EXPANSION OF AN EXISTING STRUCTURE, PLEASE DISTINGUISH BETWEEN THE EXISTING STRUCTURE AND THE PROPOSED EXPANSION.

NOTE: FOR ALL PROJECTS INVOLVING FILLING, GRADING, OR OTHER SOIL DISTURBANCE YOU MUST PROVIDE A SOIL EROSION CONTROL PLAN DESCRIBING THE MEASURES TO BE TAKEN TO STABILIZE DISTURBED AREAS BEFORE, DURING AND AFTER CONSTRUCTION (See attached guidelines)

SEE ATTACHED FERNCREST
ACADIA SITE PLAN - PAGE 4

SCALE 1" = 100 FT

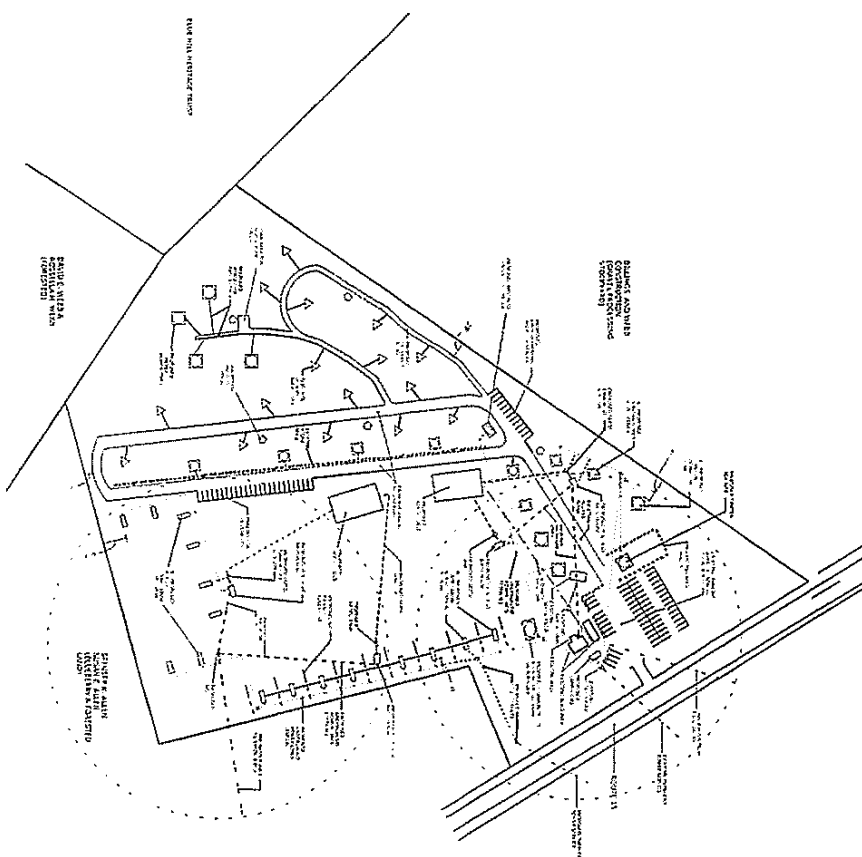
- 4 -

LEGEND

- [illegible]

NOTE

- YEAR ONE (1):
1. 5071A GYM 101
 2. 5071B GYM 102
 3. 2001A GYM 201
 4. 2001B GYM 202
 5. 2001C GYM 203
 6. 2001D GYM 204
 7. 2001E GYM 205
 8. 2001F GYM 206
 9. 2001G GYM 207
 10. 2001H GYM 208
 11. 2001I GYM 209
 12. 2001J GYM 210
 13. 2001K GYM 211
 14. 2001L GYM 212
 15. 2001M GYM 213
 16. 2001N GYM 214
 17. 2001O GYM 215
 18. 2001P GYM 216
 19. 2001Q GYM 217
 20. 2001R GYM 218
 21. 2001S GYM 219
 22. 2001T GYM 220
 23. 2001U GYM 221
 24. 2001V GYM 222
 25. 2001W GYM 223
 26. 2001X GYM 224
 27. 2001Y GYM 225
 28. 2001Z GYM 226
 29. 2001AA GYM 227
 30. 2001AB GYM 228
 31. 2001AC GYM 229
 32. 2001AD GYM 230
 33. 2001AE GYM 231
 34. 2001AF GYM 232
 35. 2001AG GYM 233
 36. 2001AH GYM 234
 37. 2001AI GYM 235
 38. 2001AJ GYM 236
 39. 2001AK GYM 237
 40. 2001AL GYM 238
 41. 2001AM GYM 239
 42. 2001AN GYM 240
 43. 2001AO GYM 241
 44. 2001AP GYM 242
 45. 2001AQ GYM 243
 46. 2001AR GYM 244
 47. 2001AS GYM 245
 48. 2001AT GYM 246
 49. 2001AU GYM 247
 50. 2001AV GYM 248
 51. 2001AW GYM 249
 52. 2001AX GYM 250
 53. 2001AY GYM 251
 54. 2001AZ GYM 252
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 56. 2001BB GYM 254
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 62. 2001BH GYM 260
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 65. 2001BK GYM 263
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 192. 2001GH GYM 390
 193. 2001GI GYM 391
 194. 2001GJ GYM 392
 195. 2001GK GYM 393
 196. 2001GL GYM 394
 197. 2001GM GYM 395
 198. 2001GN GYM 396
 199. 2001GO GYM 397</



4

Main File No. Shoreland Zoning Page #10

FRONT OR REAR ELEVATION

SEE ATTACHED:

- ADDITIONAL FERNCREST STRUCTURES PAGE 18 + 19
- FERNCREST STORE EXTERIOR + INT. PAGE 23
- FERNCREST BATH HOUSE EXTERIOR
- " " " PLAN/ELEV. PAGE 22
- " " CAMP CABINS PAGE 20
- WOOD-FIRED SAUNA } PAGE 23 a
- WOOD-FIRED HOT TUB }

SIDE ELEVATION

DRAW A SIMPLE SKETCH SHOWING BOTH THE EXISTING
AND PROPOSED STRUCTURES WITH DIMENSIONS

Main File No. Shoreland Zoning Page #11

ADDITIONAL PERMITS, APPROVALS, AND/OR REVIEWS REQUIRED

CHECK IF REQUIRED

PLANNING BOARD REVIEW APPROVAL
(e.g. Subdivision, Site Plan Review)

✓ SITE PLAN REVIEW

BOARD OF APPEALS REVIEW APPROVAL

FLOOD HAZARD DEVELOPMENT PERMIT

INTERIOR PLUMBING PERMIT
(Approved THB 200 Application Form)

✓

INTERIOR PLUMBING PERMIT

✓

DEP PERMIT (Site Location,
Natural Resources Protection Act)

ARMY CORPS OF ENGINEERS PERMIT
(e.g. Sec. 404 of Clean Waters Act)

OTHERS:

BUILDING NOTIFICATION FORM (over 75sqft)

STATE OF MAINE LICENSE APPLICATION
FOR CAMP GROUND + EVENT ~~SEE~~ CAMPING

NOTE: APPLICANT IS ADVISED TO CONSULT WITH THE CODE ENFORCEMENT OFFICER
AND APPROPRIATE STATE AND FEDERAL AGENCIES TO DETERMINE WHETHER
ADDITIONAL PERMITS, APPROVALS, AND REVIEWS ARE REQUIRED.

I CERTIFY THAT ALL INFORMATION GIVEN IN THIS APPLICATION IS ACCURATE. ALL
PROPOSED USES SHALL BE IN CONFORMANCE WITH THIS APPLICATION AND
THE TOWN OF SEBOWICK, MAINE SITE REVIEW ZONING ORDINANCE.
I AGREE TO FUTURE INSPECTIONS BY THE CODE ENFORCEMENT OFFICER AT
REASONABLE HOURS.

APPLICANT SIGNATURE

DATE

OFFICIAL SIGNATURE

DATE

6

Town of Sedgwick -Site Plan Review
Applicant Check list.

The Planning Board has provided this check list to aid in fairly evaluating your proposed project.

It is the goal of the planning board to completely, fairly and openly investigate any and all possible ramifications of your development on the landscape, the community and the environment of the Town of Sedgwick

Your attention to detail as you fully and accurately complete this checklist will enable us to quickly determine how your project conforms to the site plan review ordinance.

The planning Board, and the code enforcement officer are available to aid and assist you as you navigate this process.

Please submit your proposal to The Board that includes all of the following information:

☒ 1) Map:

A site plan map to include the following information:

☒ A) Applicant information

- ☒ Name and address of applicant or authorized agent
- ☒ Name of proposed development (for reference purposes)

☒ B) Description and location of all proposed structures, buildings or improvements

☒ C) Identification of any land within 500 feet of the proposed development in which the applicant has title or interest

☒ B) Soil conditions

Existing soil conditions as described either by a soils scientist, geologist, engineer, or SCS medium intensity soils survey (This information may be available by contacting the Hancock County Soil Management District)

☒ C) Tax maps & lot numbers

Copies of municipal tax maps and lot numbers (Available from the Town of Sedgwick office) with names of all owners, including those of abutting landowners

☒ D) Survey

Most recent perimeter (boundary) survey of the parcel prepared and certified by a registered land surveyor, listing reference points, true or magnetic north, scale, corner of parcel, date of survey and total acreage.

☒ E) Utilities & easements

For proposed development and areas within 200 feet of the proposed development, show existing and proposed locations and dimensions of:

- ☒ Utility lines
- ☒ Sewer/septic lines
- ☒ Wells/water lines
- ☐ Easements/public and private rights-of-way
- ☐ Drainage ways / wetlands
- ☐ Other critical points of interest

SEE A FERNCREST ACADIA
SITE PLAN - PAGE 4
PAGE 1

PAGES 17-20, 24
~~21-25~~

SEE ATTACHED EXISTING SEPTIC
PAGES 10-13

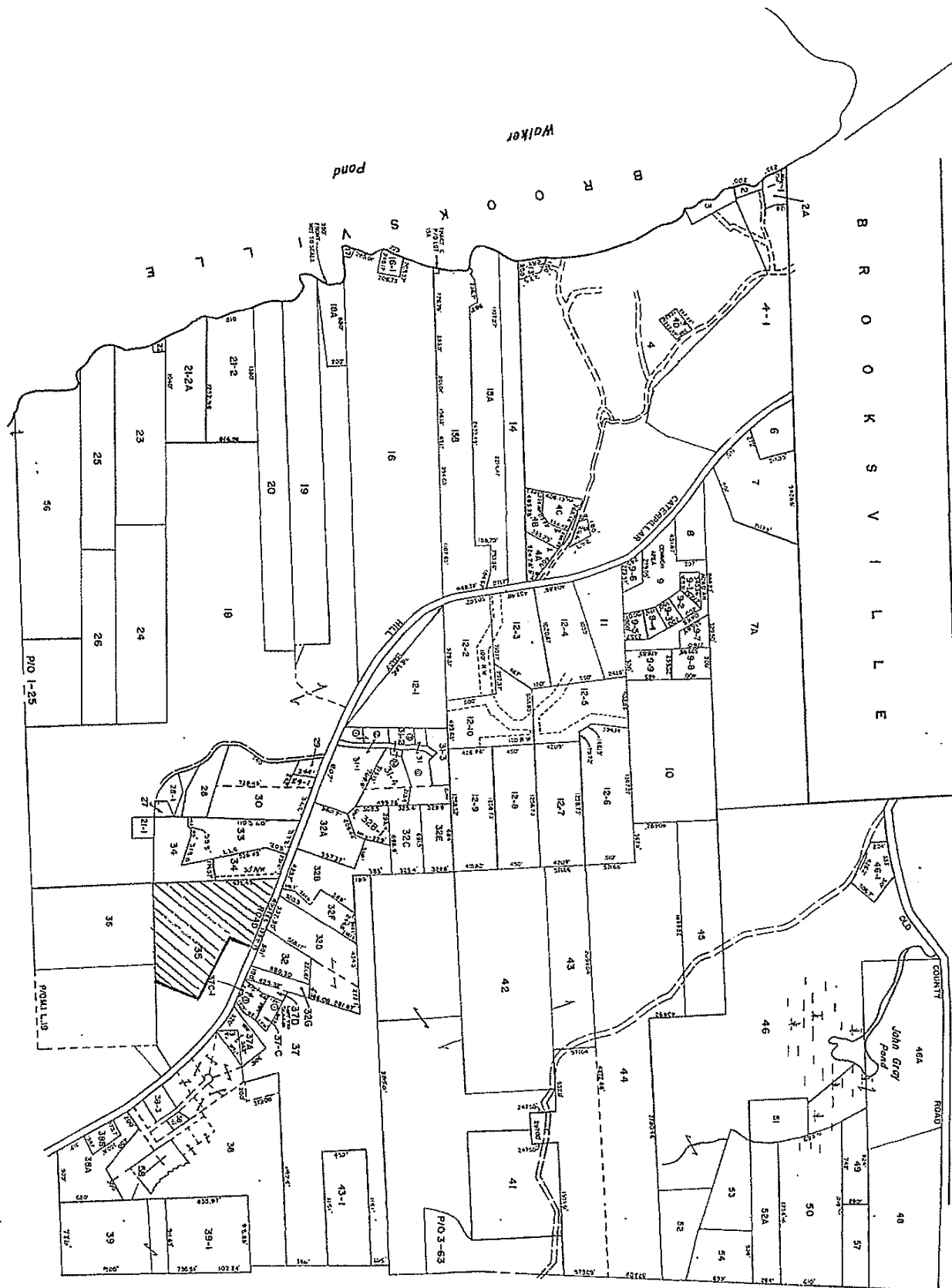
PAGE 8

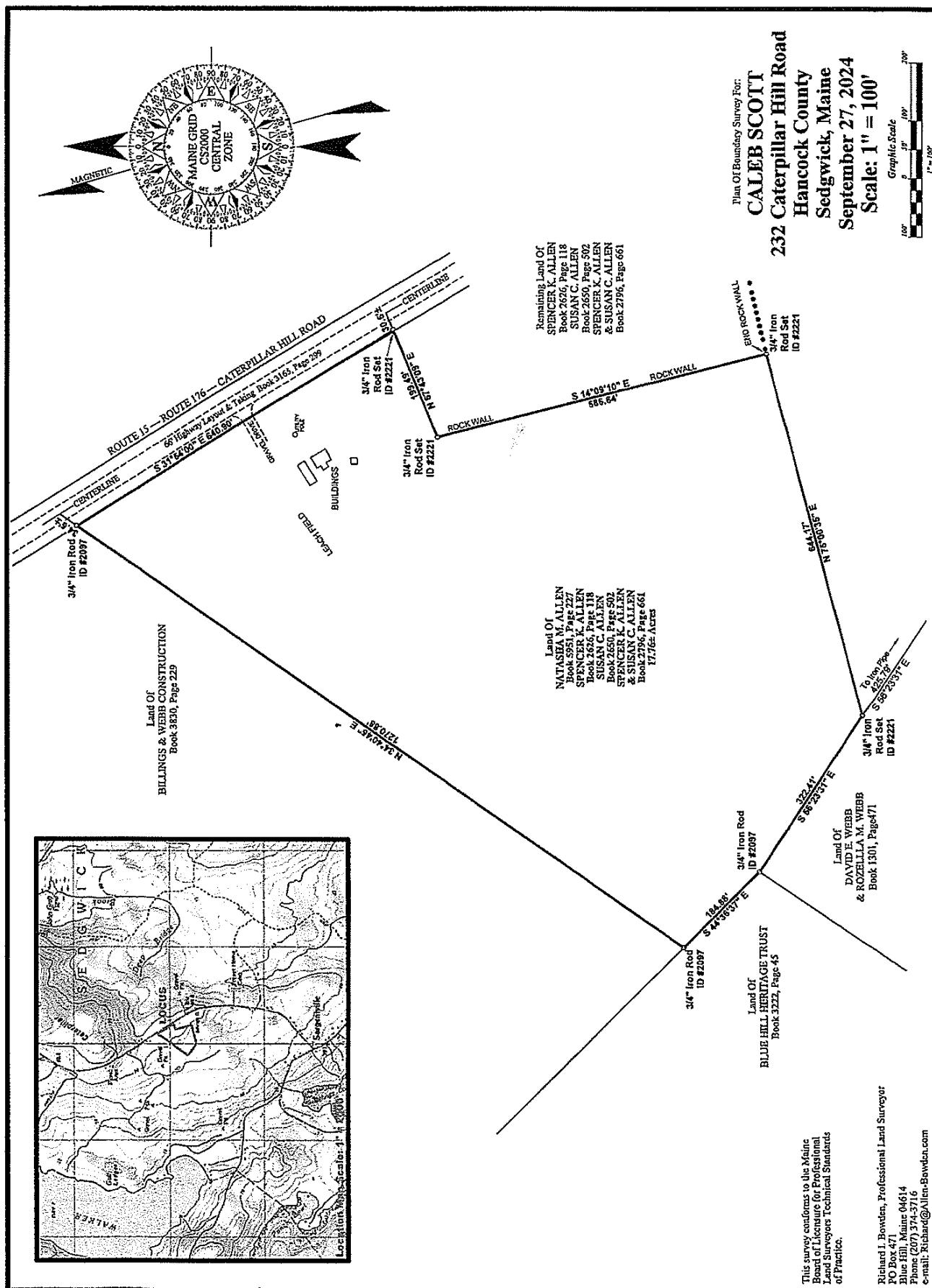
PAGE 9

SEE A FERNCREST ACADIA SITE PLAN
PAGE 2

LEGEND
PARCEL NUMBERS 1
ADJACENT MAPS 2
MATCH LINE

For Assessment Purposes
See Assessment Map





Town of Sedgwick - Site Plan Review

Applicant Check list:

✓ F) Existing structures

Location of all existing buildings or structures located on the proposed development site and on parcels abutting the site

SEE FERNCREST ACADIA SITE PLAN
PAGE 3 & 4

✓ G) Soils report

if the site is not to be served by a public sewer line, an on-site soils investigation report by a licensed soils evaluator is required. The report shall contain the types of soils, location of test pits and proposed location of the best practical sub-surface disposal system for the site.

SEE ATTACHMENTS

BATHHOUSE A
" " B
PRIVIES A-E

✓ H) Pedestrian & vehicular access

location and dimensions of on-site pedestrian and vehicular access ways, parking, and loading areas, curbs and sidewalk lines

SEE FERNCREST ACADIA SITE
PLAN
PAGE 3 & 4

✓ I) Landscape plan showing location, type and approximate size of plantings and location, description and dimensions of all fencing and screening. All signage and exterior lighting to be detailed and described.

PAGES 20-21

✓ J) Dark Skies plan. The applicant shall adopt and implement recommended recommendations as described in the Technical Assistance Bulletin provided by the Maine State Planning Office

<https://www.maine.gov/dact/municipalplanning/docs/lightingmanual.pdf>

✓ K) Site topography

Topographic contours at intervals of either 15' or 10' in elevation, as specified by the Planning Board

PAGE 11

L) Site aquifers

Location of aquifers and aquifer recharge areas (if mapped)

M) Additional information

Any additional information that may help to describe the proposed development

25/10



11

PLEASE NOTE:

PAGES 12-15

DO NOT
REMOVE

Town of Sedgwick - Site Plan Review

2.1.3: Applicant Check list:

2) Project description & statement from the applicant:

A written statement by the applicant including the following information:

- ☒ Evidence of title and interest in the land for which the application addresses PAGES 26-29
- ☒ A description of the proposed uses (developments) to be located on the site, including quantity and type of residential units, if any PAGE 17
- ☒ Gross floor area and ground coverage of each proposed building/structure and percentage of lot area to be covered by each building/structure as well as total area of lot to be covered by buildings/structures PAGE 25
- ☐ Summary of existing & proposed easements, restrictions, liens and covenants affecting the property
- ☒ Method of solid waste disposal
- ☐ Erosion & sediment control plan
- ☒ Copies of certified letters (including delivery receipts) to: PAGES 30-34
 - ☒ All abutting landowners
 - ☐ Select board
 - ☐ Tax collector
 - ☐ Town clerk
 - ☐ Fire chief
 - ☐ Road commissioner (if applicable)notifying them of the proposed development
- ☐ A statement from the Fire Chief as to the availability and adequacy of fire hydrants and/or fire ponds, or provision of fire protective services
- ☐ If public water/sewer systems are to be used, a statement from the water/sewer district or utility as to the availability of water/sewer lines
- ☒ An estimate of the date when construction will begin, and when the development will be completed PAGE 25
- ☐ A recommendation from the Town engineer, Road commissioner, or Select board on the proposed design & layout (as needed)
- ☒ A comprehensive list of all County, State and Federal agencies and offices that require applications and/or permits for the proposed project PAGE 6
- ☐ A timeline for submission of applications, and copies of any applications previously submitted or permits granted by offices/agencies listed above. Include points of contact for listed offices/agencies

April 28, 2025

Ferncrest Acadia

Site Plan Review Applicant Check list:

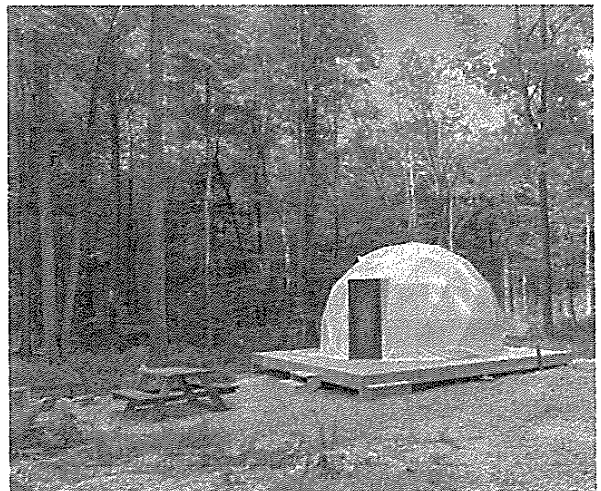
Project description & statement from the Applicant

- Warranty Deed DLN# 2116429 (attached).
- Proposed campground with a total of 48 campsites – See Ferncrest Acadia Site Plan for a detailed description of entire site. It is broken down into Year 1 & Year 2.

Summary: There will be a total of 16 tent campsites in clusters of four campsites located within six acres of forest with wood chip pads and paths. Each cluster will be provided a Pit Privy designed and installed according to Department of Health and Human Services Subsurface Wastewater Disposal Rules. There will be 16 sites with a mix of 8x 5 meter geodesic domes and 8x 7 meter geodomes on pressure treated decks, 16x - 8' x 22' camp cabins on gravel pads, a 6 x 9 meter "community center" oval dome on a pressure treated deck, a 5 x 7 meter "wellness center" oval dome on a pressure treated deck, an 8' x 20' camp store, 4x 9'-6" x 20' bathhouses. There is an existing 13' x 40' building which currently houses two bathrooms. There is also an existing building on a concrete slab approximately 20' x 24' with a commercial kitchen and a single bathroom which will be used as a camp/mini golf office. The existing commercial kitchen facility is not part of this proposal.

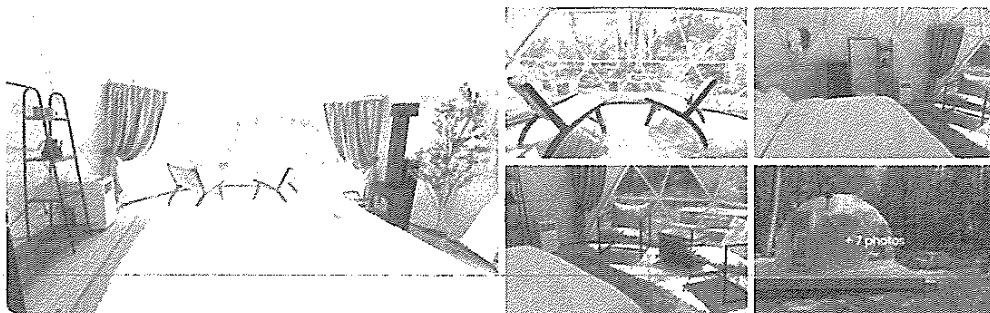
Detail: 16x tent campsites - Located in the woods with a nearby pit privy within 300 feet of the campsites. Please note no RVs will be allowed. We may allow smaller campervans (Sprinter/Ram Promaster/Transit) but will primarily host traditional tent campers who bring their own gear. These campsites will not have direct water/electricity at their campsite. (Maximum 5x people)

*Please see supporting documentation on "Average" occupancy per campsite from Four Acre Woods Campground. (2.46 campers per site). Each campsite will have its own locally sourced six-foot picnic table and firepit.



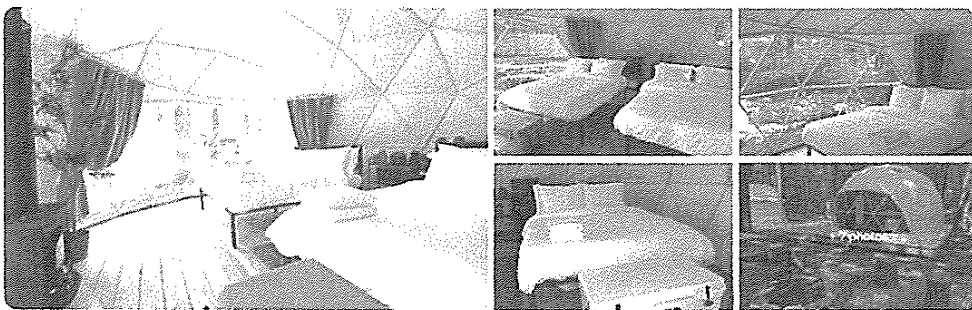
5-meter geodesic domes: These geodomes will be a light tan color with a green door to blend in with the natural surroundings of the woods. These domes will have two potential layouts which include 1x king bed or 2x full beds.

*Please see supporting documentation on "Average" occupancy per campsite from Four Acre Woods Campground. (2.18 campers per site)



King Bed Dome w/ Hot Tub

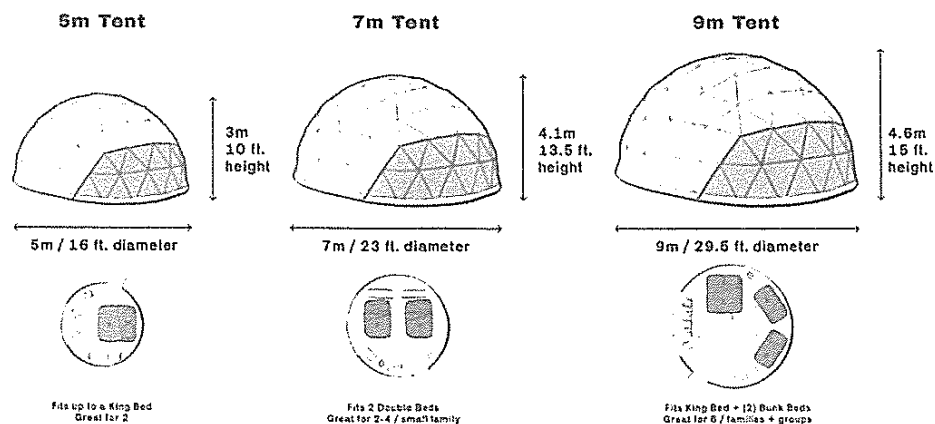
Accommodates 2



Double Beds Dome w/ Hot Tub

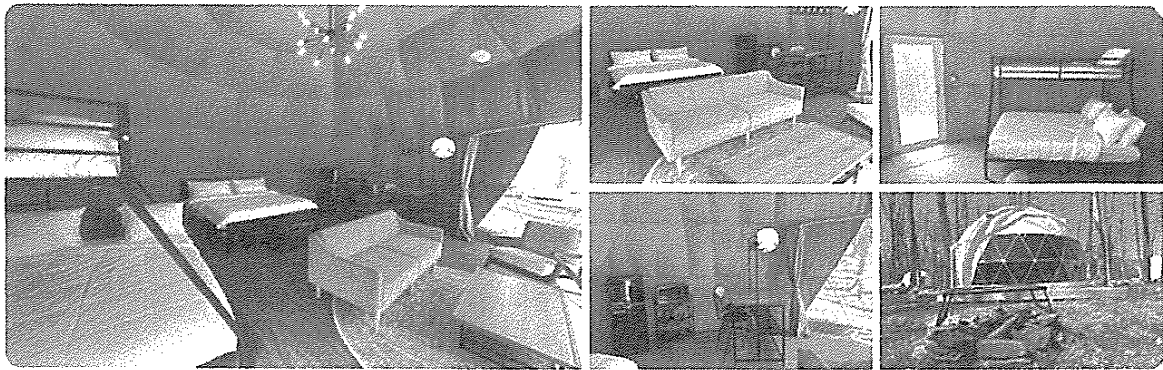
Accommodates 4

Dome Tents Sizing



Ferncrest

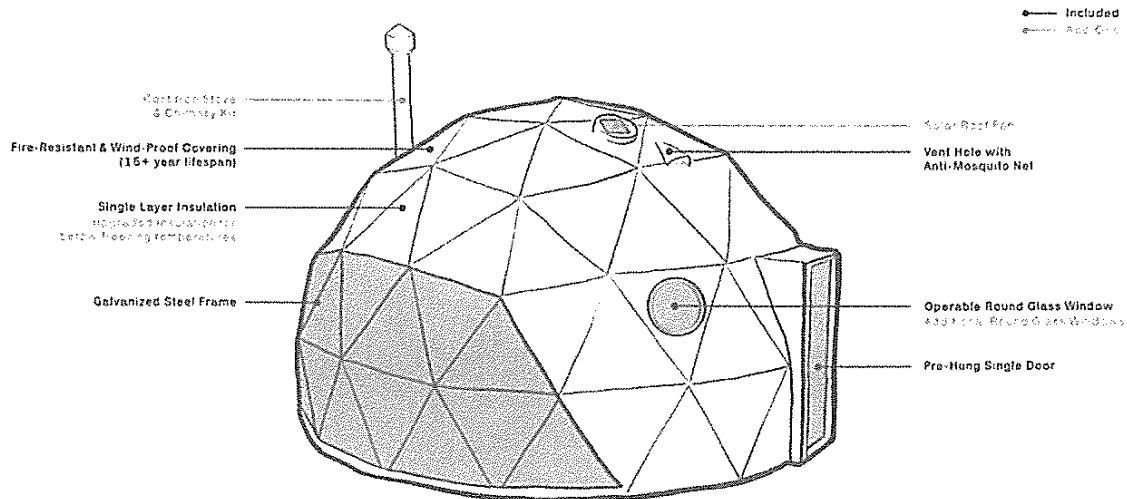
7-meter geodesic domes: These geodomes will be a light tan color with a green door to blend in with the natural surroundings of the woods. These family domes will have three potential layouts which include 1x king bed, 1x full bed, 1x twin bed, 1x pull out sofa OR 1x king bed with a double bunk bed to host a maximum of 6x people. The alternative configuration is 2x Queen Beds with a four-person max.



Family Dome Suite

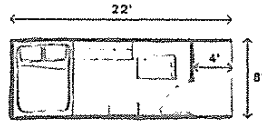
Accommodates 6

Dome Tents Anatomy



Ferncrest

Cabins



Specs

8' x 22' w/ 4' Porch

Fits Queen Bed
Kitchenette Counters & Shelves
Built-In Slowway Table w/ Seating Area

Arrives turnkey
Just plug into a 30amp RV plug

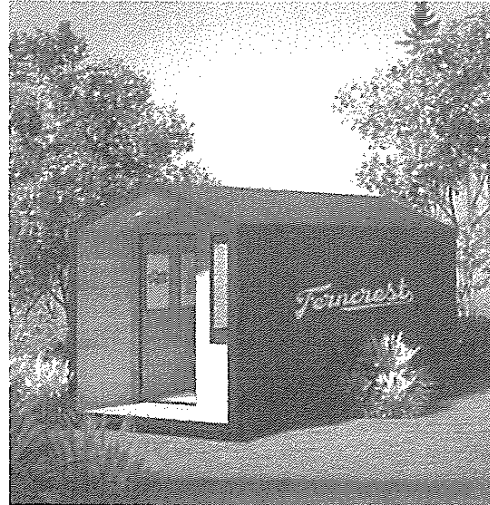
Finishes

Envelope:

- LP SmartSide Board & Batten Siding
- Spray Foam Insulation
- Standing Seam Metal Roof
- Steel Doors
- Multi-zone Mini Split

Interior Finishes:

- Sealed T&G Pine Boards
- LVP Flooring
- Treated Pine Cabinetry

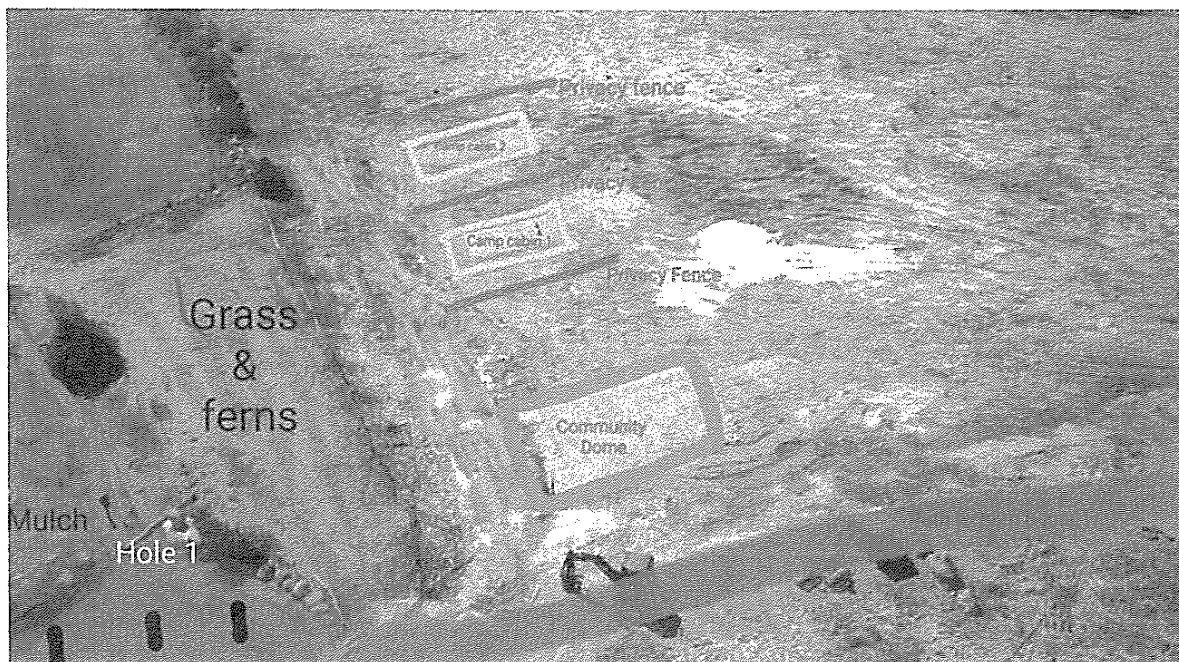


Ferncrest

Mini Golf Area & General Landscaping: Tailored Properties Is contracted to complete all the landscaping at Ferncrest Acadia. We plan to bring back 12 holes of mini golf which will be open to the public and our campers!



The plant selection will be based on the very hot and dry area, the barren soil and the shallow ledge. I will work in different tiers, a tall one for shade, a medium level that provides privacy and a shorter level for shrubs and tall grasses as fillers. Various spruce and fir may do well even with the shallow ledge to get the height in there, as I imagine some birch trees to do too. The medium layer could be bayberry, sumac, some viburnum, and rhododendron. Shorter shrubbier plants could include rugosa rose, sweet fern, and beach plum, and ferns.

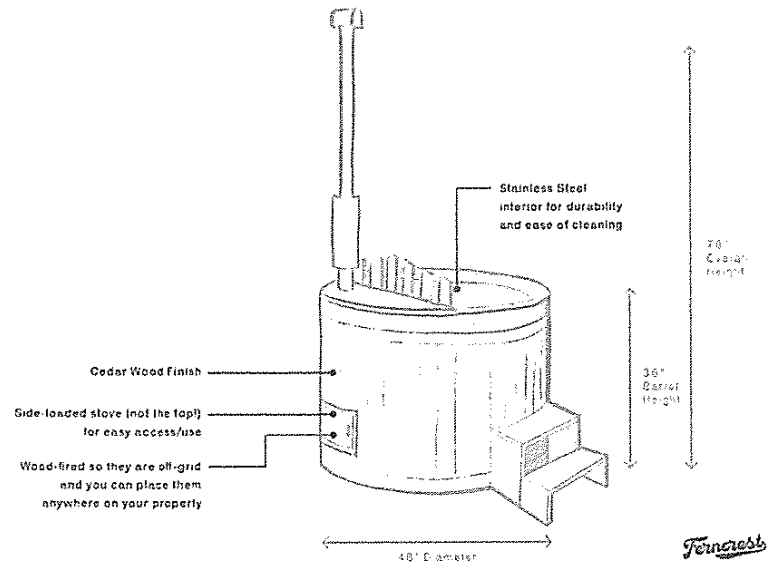


Ultimate Wood-Fired Hot Tub

The Hot Tub that pays for itself

Offering a private hot tub along with your lodging unit is an excellent way to boost your average daily rates (an additional \$60-\$100/night) and sway a guest over another property.

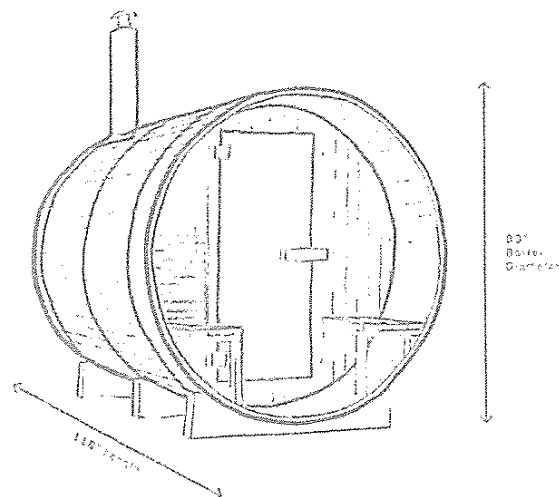
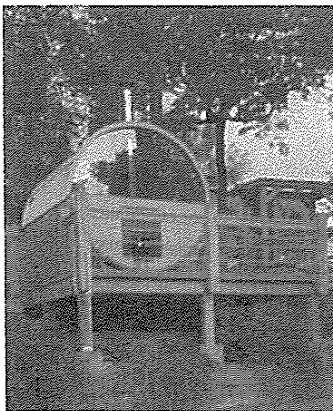
We have specifically designed our hot tubs for hospitality use after experiencing other hot tubs.

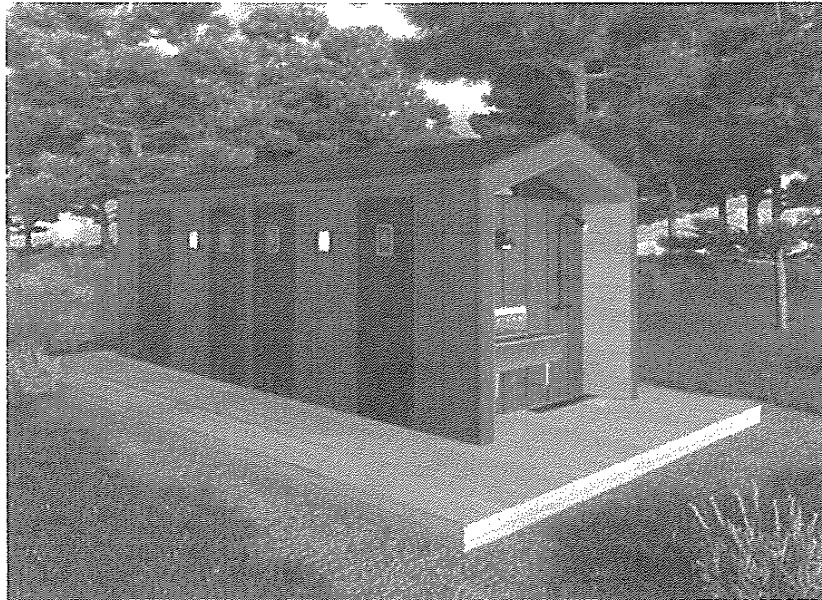


Ultimate Wood-Fired Sauna

Saunas are a great communal amenity that can be shared at a campground and either be provided for free use or as an add-on (i.e. sell a 30 min time slot). Saunas don't require water to be changed so make for a sanitary communal amenity that people love.

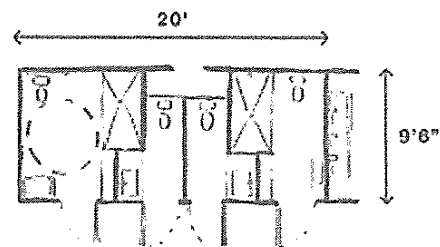
Capacity: 6 people
Material: Scandinavian Thermowood





Large

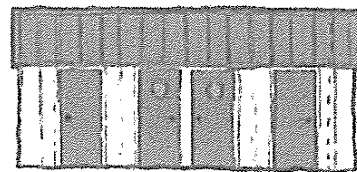
9'-6" x 20'
(2) Showers
(4) Toilets
Covered Exterior Sink + Shower
ADA Compliant



L - Floor Plan



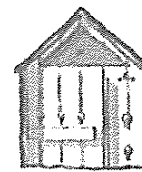
L - Ext. Alternative



L - South Elevation

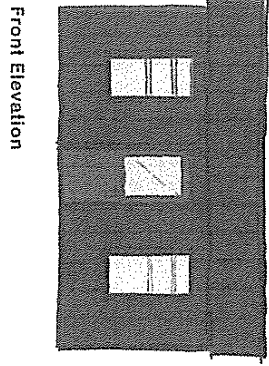
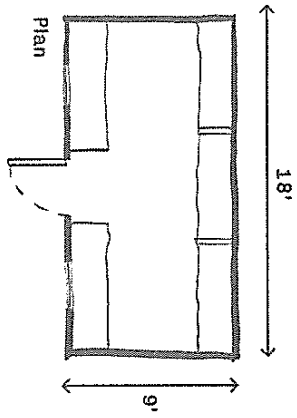


L - East Elev.
(Sink Only)

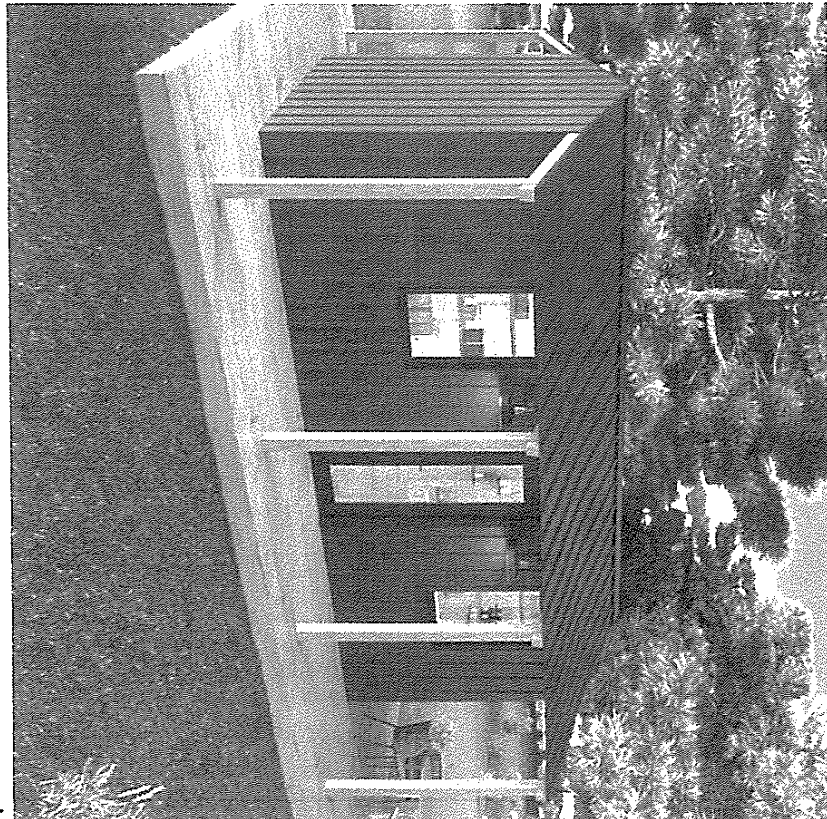
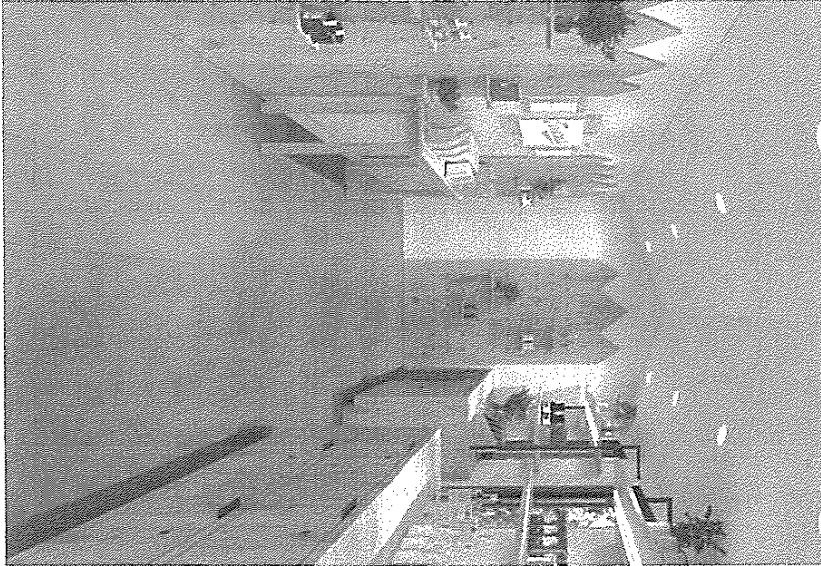


L - East Elev.
(Sink + Shower)

Pre-Fab General Store



Specs
9' x 18'
Arrives turnkey
Just plug into a 30amp RV plug



Ferncrest

- Gross ground coverage of existing/proposed buildings and other structures:

8 – Pressure treated pads 20' x 20' = 3,200 Sq Ft	= .4%
8 – Pressure treated pads 24' x 24' = 4,608 Sq Ft	= .6%
16 – 8' x 22' camp cabins	= 2,816 Sq Ft = .36%
1 – Community center	= 840 Sq Ft = .1%
1 – Wellness Center	= 336 Sq Ft = .04%
4 – Bath houses	= 760 Sq Ft = .1%
1 – Camp store	= 160 Sq Ft = .02%
1 – Existing buildings	= 1,000 Sq Ft = .1%
2 – Septic Fields	= 8,000 Sq Ft. = 1%
88 – Parking spaces	= 15,840 Sq Ft. = 2%
Access roads	= 39,200 Sq Ft = 5%
Total areas	76,760 Sq Ft. = 9.72%

- There are no existing or proposed easements, restrictions, liens and covenants affecting the property.
- There is an existing sub-surface waste disposal system with a flow rate of 270 GPD serving existing 20' x 24' and 13' x 40' buildings. Pending a hydrogeologic assessment by a Maine Certified Geologist, this system will either be retained or abandoned. If abandoned, the outflow of the existing bathrooms in the above buildings will be connected to one of the proposed new septic system leach fields. A total of 5 Pit Privies are to be installed per a State Licensed Site Evaluator, one for each cluster of 4 tent campsites as shown on the Ferncrest Acadia Site Plan.
- No erosion & sediment control plan at this time.
- Copies of certified letters and delivery receipts are attached for all abutting landowners.
- A statement from the Fire Chief will be requested. Fire Chief has walked the site.
- No public water/sewer system is to be used.
- Construction will begin as soon as permits are issued. Mid May 2025 is the anticipated date.
- Recommendation from the Town engineer, Road commissioner or Select board is expected during the review process.
- A State of Maine License Application for a Campground & Event Camping and a Transient Public Water System Application for a New System or New Well for the proposed campground is in progress.

Book: OR 7359 Page: 243 Instrument #: 2024015292

BK: OR 7359 PAGE: 243 # OF PGS: 4
12/03/2024 03:06:49 PM Inst # 2024015292
JULIE A. CURTIS, REGISTER OF DEEDS
HANCOCK COUNTY MAINE
MAINE REAL ESTATE TRANSFER TAX PAID
eRecorded Document

WARRANTY DEED

DLN#: 2116429

SPENCER K. ALLEN and SUSAN C. ALLEN, husband and wife, both having a mailing address of 28 Bagaduce Road, Brooksville, Maine 04617 and NATASHA M. ALLEN, having a mailing address of 28A Bagaduce Road, Brooksville, Maine 04617, for consideration paid, GRANT to HIDEOUT HOUSE ACADIA LLC, a Maine limited liability company, having a mailing address of 13 Greenhead Lane, Stonington, Maine 04681, with WARRANTY COVENANTS, a certain lot or parcel of land, together with the buildings and improvements thereon, situated in Sedgwick, Hancock County, Maine, bounded and described as follows:

Beginning at a $\frac{3}{4}$ inch iron rod with surveyor's ID #2097 near the southwesterly sideline of Caterpillar Hill Road also known as Route 15 and further also known as Route 176, said rod at the southeasterly line of land conveyed in a deed from George Gray personal representative of the estate of Homer W. Gray to Billings & Webb Construction, Inc. dated January 16, 2004 and recorded in Book 3830, Page 229 at Hancock County Registry of Deeds, and also being at the northwesterly line of land conveyed in a deed from Spencer K. Allen and Susan C. Allen to Natasha M. Allen dated November 28, 2012 and recorded in Book 5951, Page 227 at said Registry;

thence South thirty-one degrees fifty-four seconds East (S. $31^{\circ} 54' 00''$ E.) generally by and along the southwesterly sideline of said Caterpillar Hill Road six hundred forty and ninety hundredths (640.90) feet to a $\frac{3}{4}$ inch iron rod with surveyor's ID #2221;

thence South sixty-seven degrees forty-three minutes nine seconds West (S. $67^{\circ} 43' 09''$ W.) by and along a remaining portion of land conveyed in a deed from Spencer K. Allen and Susan C. Allen to Natasha M. Allen dated November 28, 2012 and recorded in Book 5951, Page 227 at said Registry one hundred ninety-nine and forty-nine hundredths (199.49) feet to a $\frac{3}{4}$ inch iron rod with surveyor's ID #2221 set;

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thence South fourteen degrees nine minutes ten seconds East (S. 14° 09' 10" E.) by and along said remaining land of Allen marked in part by a rock wall five hundred eighty-six and sixty-four hundredths (586.64) feet to a ¾ inch iron rod with surveyor's ID #2221 set near the end of a rock wall running generally easterly;

thence South seventy-five degrees zero minutes thirty-five seconds West (S. 75° 00' 35" W.) by and along said remaining land of Allen six hundred forty-four and seventeen hundredths (644.17) feet to ¾ inch iron rod with surveyor's ID #2221 set;

thence North fifty-six degrees twenty-three minutes thirty-one seconds West (N. 56° 23' 31" W.) by and along land conveyed in a deed from Stanton A. Waterman to David E. and Rozella M. Webb dated July 27, 1977 and recorded in Book 1301, Page 471 at said Registry three hundred twenty-two and forty-one hundredths (322.41) feet to a ¾ inch iron rod with surveyor's ID #2097;

thence North forty-four degrees thirty-six minutes thirty-seven seconds West (N. 44° 36' 37" W.) by and along land conveyed in a deed from Sarah Patten Gwynn and Emma Patten Casey to Blue Hill Heritage Trust dated December 24, 2001 and recorded in Book 3222, Page 45 at said Registry one hundred eighty-four and eighty-eight hundredths (184.88) feet to a ¾ inch iron rod with surveyor's ID #2097;

thence North thirty-four degrees forty minutes forty-five seconds East (N. 34° 40' 45" E.) by and along said land of Billings & Webb Construction one thousand two hundred seventy and eighty-eight hundredths (1270.88) feet to the point of beginning.

Containing seventeen and seventy-six hundredths (17.76) acres more or less.

Together with any land lying between the above described and the generally westerly sideline of said Caterpillar Hill Road.

Excepting any portion of land contained within the above described taken by the Maine Department of Transportation in a Notice of Layout and Taking dated October 3, 2001 and recorded in Book 3165, Page 299 at said Registry.

Bearings mentioned above are oriented to Maine State Grid CS2000 Central Zone.

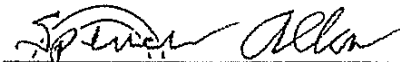
Book: OR 7359 Page: 245 Instrument #: 2024015292

The above description of land is taken from a boundary survey for
Caleb Scott dated September 27, 2024 prepared by Richard I. Bowden,
Maine Professional Land Surveyor #2221.

MEANING AND INTENDING TO CONVEY and hereby conveying a portion of the
premises conveyed in the following deeds:

1. Deed from Wayne R. Allen to Susan C. Allen dated May 7, 1997, recorded at
the Hancock County Registry of Deeds in Book 2650, Page 502;
2. Deed from Kermit P. Allen to Spencer K. Allen dated December 24, 1996,
recorded at said Registry in Book 2626, Page 118;
3. Deed from Wayne R. Allen to Spencer K. Allen and Susan C. Allen, dated
December 29, 1998, recorded at said Registry in Book 2796, Page 661, and;
4. Deed from Spencer K. Allen and Susan C. Allen to Natasha M. Allen, dated
November 28, 2012, recorded at said Registry in Book 5951, Page 227.

WITNESS our hands and seals this 25 day of November, 2024.


Spencer K. Allen


Susan C. Allen


Natasha M. Allen

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STATE OF MAINE
COUNTY OF HANCOCK

November 25, 2024

Then personally appeared the above-named SPENCER K. ALLEN and SUSAN C. ALLEN and acknowledged the foregoing instrument to be their free act and deed.

Before me,

[Signature]
Notary Public

Print name of Notary

My commission expires:

ELLEN S. BEST
Notary Public, State of Maine
My Commission Expires May 08, 2028

STATE OF MAINE
COUNTY OF HANCOCK

November 25, 2024

Then personally appeared the above-named NATASHA M. ALLEN and acknowledged the foregoing instrument to be her free act and deed.

Before me,

[Signature]
Notary Public

Print name of Notary

My commission expires:

ELLEN S. BEST
Notary Public, State of Maine
My Commission Expires May 08, 2028



ELLSWORTH
199 MAIN ST
ELLSWORTH, ME 04605-9998
(800)275-8777

03/28/2025 11:10 AM

Product	Qty	Unit Price	Price
First-Class Mail® Letter	1		\$0.73
Sedgwick, ME 04676			
Weight: 0 lb 0.60 oz			
Estimated Delivery Date Mon 03/31/2025			
Certified Mail®			\$4.85
Tracking #: 9589 0710 5270 2577 9503 03			
Return Receipt			\$4.10
Tracking #: 9590 9402 8924 4064 8931 60			
Total			\$9.68
First-Class Mail® Letter	1		\$0.73
Sedgwick, ME 04676			
Weight: 0 lb 0.60 oz			
Estimated Delivery Date Mon 03/31/2025			
Certified Mail®			\$4.85
Tracking #: 9589 0710 5270 2577 9503 10			
Return Receipt			\$4.10
Tracking #: 9590 9402 8924 4064 8931 77			
Total			\$9.68
First-Class Mail® Letter	1		\$0.73
South Portland, ME 04106			
Weight: 0 lb 0.60 oz			
Estimated Delivery Date Mon 03/31/2025			
Certified Mail®			\$4.85
Tracking #: 9589 0710 5270 2577 9503 27			
Return Receipt			\$4.10
Tracking #: 9590 9402 8924 4064 8931 84			
Total			\$9.68
First-Class Mail® Letter	1		\$0.73
Deer Isle, ME 04627			
Weight: 0 lb 0.60 oz			
Estimated Delivery Date Mon 03/31/2025			
Certified Mail®			\$4.85
Tracking #: 9589 0710 5270 2577 9503 34			
Return Receipt			\$4.10
Tracking #: 9590 9402 8924 4064 8932 07			
Total			\$9.68

Portsmouth, RI 02871
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 41
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8931 91
Total \$9.68

First-Class Mail® Letter 1 \$0.73
Blue Hill, ME 04614
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 58
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 90
Total \$9.68

First-Class Mail® Letter 1 \$0.73
Blue Hill, ME 04614
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 65
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 83
Total \$9.68

First-Class Mail® Letter 1 \$0.73
Sedgwick, ME 04676
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 72
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 76
Total \$9.68

First-Class Mail® Letter 1 \$0.73
Isle Au Haut, ME 04645
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 89
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 69
Total \$9.68

First-Class Mail® Letter 1 \$0.73
Brooksville, ME 04617
Weight: 0 lb 0.60 oz
Estimated Delivery Date Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 96
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 52
Total \$9.68

Sedgwick, ME 04676
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9504 02
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 45
Total \$9.68

First-Class Mail® 1 \$0.73
Letter
Brooksville, ME 04617
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9504 19
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 38
Total \$9.68

First-Class Mail® 1 \$0.73
Letter
Little Deer Isle, ME 04650
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9504 26
Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 21
Total \$9.68

Grand Total: \$125.84

Debit Card Remit \$125.84

Card Name: MasterCard
Account #: XXXXXXXXXXXX3661
Approval #: 76B6BF
Transaction #: 453
Receipt #: 034126
Debit Card Purchase: \$125.84
AID: A0000000042203 Chip
AL: Debit
PIN: Verified

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and Data rates may apply. You may also
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Isle Au Haut ME 04449

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Extra Services & Fees (check box, add fees as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	
Total Postage and Fees \$5.12	
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City, State, ZIP+4®	

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Little Deer Isle ME 04460

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<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	
Total Postage and Fees \$5.12	
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Sedgwick ME 04674

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Extra Services & Fees (check box, add fees as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	
Total Postage and Fees \$5.12	
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Extra Services & Fees (check box, add fees as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
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Total Postage and Fees \$5.12	
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Rifle Hill ME 04414

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Extra Services & Fees (check box, add fees as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
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<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	
Total Postage and Fees \$5.12	
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Sedgwick ME 04674

Certified Mail Fee \$4.35	Postmark Here MAR 28 2025 03/28/2025
Extra Services & Fees (check box, add fees as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
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<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	
Total Postage and Fees \$5.12	
Sent To	
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South Portland ME 04106

Certified Mail Fee	\$4.35	Postmark Here MAR 28 2025 03/28/2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
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Portsmouth NJ 07807

Certified Mail Fee	\$4.35	Postmark Here MAR 28 2025 03/28/2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
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Postage	\$0.77	
Total Postage and Fees	\$9.22	
Sent To		
Street and Apt. No., or PO Box No.		
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Bedford NH 04431

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Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
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Postage	\$0.77	
Total Postage and Fees	\$9.22	
Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

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Paris NJ 07657

Certified Mail Fee	\$4.35	Postmark Here MAR 28 2025 03/28/2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
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Total Postage and Fees	\$9.22	
Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

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Rye NH 04414

Certified Mail Fee	\$4.35	Postmark Here MAR 28 2025 03/28/2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
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Total Postage and Fees	\$9.22	
Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

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Bedford NH 04431

Certified Mail Fee	\$4.35	Postmark Here MAR 28 2025 03/28/2025
Extra Services & Fees (check box, add fee as appropriate)	\$4.10	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.77	
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Sent To		
Street and Apt. No., or PO Box No.		
City, State, ZIP+4®		

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Brooklyn # 11471	
Certified Mail Fee \$4.00	Postmark MAR 26 2025
\$4.00	03/28/2025
Extra Services & Fees (check box, add fee)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
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<input type="checkbox"/> Adult Signature Required \$0.00	
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Postage \$1.75	
Total Postage and Fees \$5.75	
Sent To	
Street and Apt. No., or PO Box No.	
City, State, ZIP+4®	
PS Form 3800, January 2025 PSN 7530-02-000-9047 See Reverse for Instructions	



Janet T. Mills
Governor

Sara Gagné-Holmes
Commissioner



Maine Department of Health and Human Services
Maine Center for Disease Control and Prevention
11 State House Station
286 Water Street
Augusta, Maine 04333-0011
Tel; (207) 287-8016; Fax (207) 287-2887
TTY: Dial 711 (Maine Relay)

April 28, 2025

Caleb Scott
13 Green Head Lane
Stonington ME 04681

**Subject: Preliminary Approval for New Public Well (Well HD 2) to serve Ferncrest Acadia
Campground; PWSID #ME0092907**

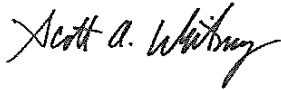
Mr. Scott:

I have received the application for this new public well: Well HD 2 to serve Ferncrest Acadia Campground, a transient, non-community public water system in Sedgwick Maine. The proposed public well location for Well HD 2 meets all minimum setback requirements of greater than 50 feet from Caterpillar Hill Road, greater than 200 feet from any perennial water body, greater than 300 feet from all septic leach fields and greater than 1000 feet from underground fuel tanks. Therefore, preliminary approval to for this new public well: Well HD 2 is granted with the following requirements:

- well casing: Minimum 20' of well casing is required. The well casing must extend a minimum of 18" above ground level for each well.
- Well Pump Test: A sufficient well pump test shall be done by a State of Maine licensed well driller/pump installer to properly develop this well, in accordance with Chapters 8 and 9 of the National Ground Water Association, Manual of Water Well Construction Practices, 2nd Edition, 1998. The proposed well must be shock chlorinated according to the enclosed guidance.
- Water Tests: Approval of a transient non-community public water supply requires satisfactory results for:
 1. Total coliform bacteria, nitrate, and nitrite.
 2. Fluoride, chloride, hardness, antimony, iron, pH, manganese, uranium, arsenic.If you wish to order these public well samples, please contact me. Please forward a copy of these water test results to me along with pages 12 – 13 of the public well application; a requirement for final well approval.
- sanitary seal well cap: A sanitary seal well cap for each well shall be installed.
- raw water tap: A raw water (well water) sample tap for each well shall be installed according to the enclosed guidance.
- inspection: **Please contact me by phone or email to schedule a final inspection once its finished, connected to your water system and pressurized.**

Should you have any questions please contact me. Thanks for your time and cooperation.

Sincerely,



Scott Whitney
Public Water System Inspector
Maine Drinking Water Program
Tel: 207-592-0578
Email: scott.whitney@maine.gov

Encl: New Well Application Page 12-13, Well Shock Chlorination Guidance, Raw Water Tap
Guidance
ec: Holly Sault

EERING SEPTIC

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-5672 FAX (207) 287-4172

PROPERTY LOCATION		>> Caution: Permit Required -- Attach In Space Below <<	
City, Town, or Plantation	SEDGWICK	<div>SEDGWICK Date Permit Issued: 5/18/02 587 TOWN CODE \$110.00 FEE Local Plumbing Inspector Signature: [Signature] P.I. # 32.6 If Double Fee Charged: <input type="checkbox"/></div>	
Street or Road	RT. 15		
Subdivision, Lot #			
OWNER/APPLICANT INFORMATION			
Name (last, first, MI)	ALLEN, SUE & SPENCER		
Mailing Address of	28 BAGADUCE RD.		
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant	BROOKSVILLE, ME 04617		
Daytime Tel. #	326-4108	Municipal Tax Map # _____ Lot # _____	
Owner or Applicant Statement I state that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		Caution: Inspections Required I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application. 5-18-02 (1st) Date Approved [Signature] Local Plumbing Inspector Signature (2nd) Date Approved _____	
Signature of Owner or Applicant _____ Date _____			

PERMIT INFORMATION

TYPE OF APPLICATION	THIS APPLICATION REQUIRES	DISPOSAL SYSTEM COMPONENT(S)
1. <input checked="" type="checkbox"/> First Time System 2. <input type="checkbox"/> Replacement System Type Replaced: _____ Year Installed: _____ 3. <input type="checkbox"/> Expanded System a. <input type="checkbox"/> One-time exempted b. <input type="checkbox"/> Non-exempted 4. <input type="checkbox"/> Experimental System 5. <input type="checkbox"/> Seasonal Conversion	1. <input checked="" type="checkbox"/> No Rule Variance 2. <input type="checkbox"/> First Time System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 3. Replacement System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 4. <input type="checkbox"/> Minimum Lot Size Variance 5. <input type="checkbox"/> Seasonal Conversion Approval	1. <input checked="" type="checkbox"/> Complete Non-engineered System 2. <input type="checkbox"/> Primitive System (graywater & alt toilet) 3. <input type="checkbox"/> Alternative Toilet, specify: _____ 4. <input type="checkbox"/> Non-Engineered Treatment Tank (only) 5. <input type="checkbox"/> Holding Tank, _____ gallons 6. <input type="checkbox"/> Non-engineered Disposal Field (only) 7. <input type="checkbox"/> Separated Laundry System 8. <input type="checkbox"/> Complete Engineered System (2000 gpd or more) 9. <input type="checkbox"/> Engineered Treatment Tank (only) 10. <input type="checkbox"/> Engineered Disposal Field (only) 11. <input type="checkbox"/> Pre-treatment, specify: _____ 12. <input type="checkbox"/> Miscellaneous components
SIZE OF PROPERTY ~ 39 sq. ft. acres	DISPOSAL SYSTEM TO SERVE 1. <input type="checkbox"/> Single Family Dwelling Unit, No. of Bedrooms: _____ 2. <input type="checkbox"/> Multiple Family Dwelling, No. of Units: _____ 3. <input checked="" type="checkbox"/> Other: GOLF CENTER SERVING FOOD SPECIFY _____	TYPE OF WATER SUPPLY 1. <input checked="" type="checkbox"/> Drilled Well 2. <input type="checkbox"/> Dug Well 3. <input checked="" type="checkbox"/> Private 4. <input type="checkbox"/> Public 5. <input type="checkbox"/> Other: _____
SHORELAND ZONING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
1. <input checked="" type="checkbox"/> Concrete a. <input checked="" type="checkbox"/> Regular b. <input type="checkbox"/> Low Profile 2. <input type="checkbox"/> Plastic 3. <input type="checkbox"/> Other: _____ CAPACITY 1000 gallons	1. <input type="checkbox"/> Stone Bed 2. <input type="checkbox"/> Stone Trench 3. <input checked="" type="checkbox"/> Proprietary Device a. <input checked="" type="checkbox"/> Cluster array c. <input type="checkbox"/> Linear b. <input checked="" type="checkbox"/> Regular load d. <input type="checkbox"/> H-20 load 4. <input type="checkbox"/> Other: _____ SIZE 896 sq. ft. <input type="checkbox"/> lin. ft.	1. <input type="checkbox"/> No 3. <input checked="" type="checkbox"/> Maybe 2. <input type="checkbox"/> Yes >> Specify one below: a. <input type="checkbox"/> Multi-compartment Tank b. <input type="checkbox"/> Tanks in Series c. <input type="checkbox"/> Increase in Tank Capacity d. <input checked="" type="checkbox"/> Filter on Tank Outlet	270 gallons per day BASED ON: 1. <input type="checkbox"/> Table 501.1 (dwelling unit(s)) 2. <input checked="" type="checkbox"/> Table 501.2 (other facilities) SHOW CALCULATIONS -- for other facilities -- SEE P. 2
SOIL DATA & DESIGN CLASS PROFILE CONDITION DESIGN 21 C 11 at Observation Hole # 1 Depth 15 " Elevation _____ OF MOST LIMITING SOIL FACTOR	DISPOSAL FIELD SIZING 1. <input type="checkbox"/> Small -- 2.0 sq. ft./gpd 2. <input type="checkbox"/> Medium -- 2.6 sq. ft./gpd 3. <input checked="" type="checkbox"/> Medium-Large -- 3.3 sq. ft./gpd 4. <input type="checkbox"/> Large -- 4.1 sq. ft./gpd 5. <input type="checkbox"/> Extra Large -- 5.0 sq. ft./gpd	PUMPING 1. <input type="checkbox"/> Not Required 2. <input checked="" type="checkbox"/> May Be Required 3. <input type="checkbox"/> Required >> Specify only for engineered or experimental systems: DOSE: _____ gallons	3. <input type="checkbox"/> Section 503.0 (meter readings) ATTACH WATER-METER DATA

SITE EVALUATOR STATEMENT

I Certify that on 3/4/02 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

<u>[Signature]</u> Site Evaluator Signature	208 SE #	4/25/02 Date
JANE M. MAGIERA Site Evaluator Name Printed	667-4725 Telephone #	10 11

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Department of Human Services Division of Health Engineering (207) 287-5672 FAX (207) 287-4172
Town, City, Plantation <u>SEOGWICK</u>	Street, Road Subdivision <u>RT. 15</u>	Owner's Name <u>SUE & SPENCER ALLEN</u>

SITE PLAN

Scale 1" = 50 Ft.
or as shown

NOTE: SEPTIC TANK
MAY BE 50' FROM WELL
IE IT'S OF MONOLITHIC
CONSTRUCTION OR
TESTED TO BE
WATER-TIGHT IN
PRESENCE OF L.P.T.

SITE LOCATION PLAN

DESIGN FLOW:
 4 INDOOR SEATS @ 20 GPD = 80 GPD
 20 OUTDOOR SEATS @ 7 GPD = 140 GPD
 1.8 = 2 (2009 LITERS CAPACITY) = 1.1
 (EFFLUENT FILTER) = 1.5
 140 x 1.5 = 210 GPD
 4 EMPLOYEES @ 15 GPD/EMPLOYEE = 60 GPD
 TOTAL 210 GPD + 60 GPD = 270 GPD

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)			
Observation Hole <u>TP1</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring <u>0</u> " Depth of Organic Horizon Above Mineral Soil			
0	Texture	Consistency	Color Mottling
10	FINE SANDY LOAM	FRIABLE	1.0R BR (10R 4/4) DK. YELL. BROWN (10YR 4/4)
20			OLIVE (5Y 4/4) COM. MED. DISTINCT, GRAY
30			
40			
50			
Soil Classification Profile <u>2</u> Condition <u>C</u>		Slope <u>6-7%</u>	Limiting Factor <u>15"</u> <input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth

Observation Hole <u> </u> <input type="checkbox"/> Test Pit <input type="checkbox"/> Boring <u> </u> " Depth of Organic Horizon Above Mineral Soil			
0	Texture	Consistency	Color Mottling
10			
20			
30			
40			
50			
Soil Classification Profile <u> </u> Condition <u> </u>		Slope <u> </u> %	Limiting Factor <u> </u> " <input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth

[Signature]
Site Evaluator Signature

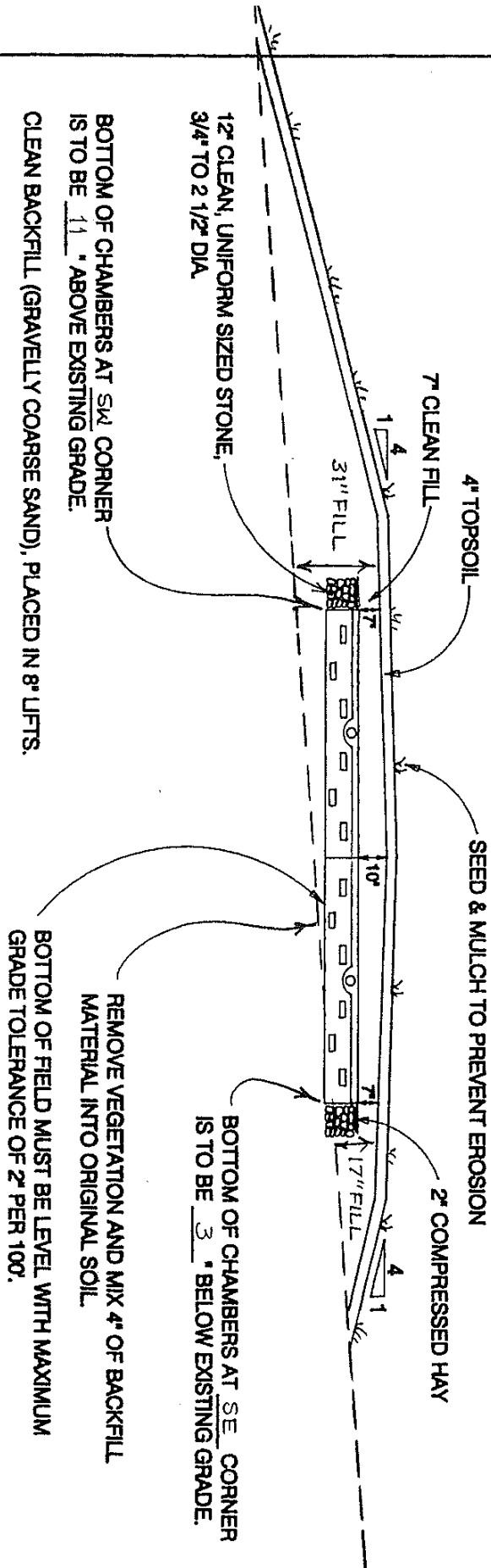
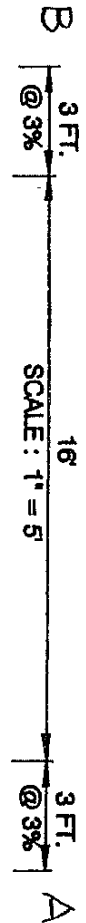
206
SE

4/25/02
Date

Page 2 of 3
HHE-200 Rev. 7/97

12, 13,

FLOW DIFFUSOR LEACHING CHAMBER CROSS SECTION (Across A - B)



NOTES:

1. GRADE AREA TO DIRECT RUN-OFF AROUND DISPOSAL FIELD.
2. SEE ALSO ATTACHED DESIGN NOTES.

[Signature]
SITE EVALUATOR'S SIGNATURE

208
S.E.#

4/25/02
DATE

OWNER: *SUE & SPENCER ALLEN*
LOCATION: *SEDA WICK*

514

BATH HOUSE A

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Div. Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	SEDGWICK	Town/City	Permit #
Street or Road	ROUTE 15	Date Permit Issued	Fee \$ Double Fee Charged ()
Subdivision, Lot #	BATH HOUSE A	L.P.I. #	
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature	
Name (last, first, MI)	HIDEOUT HOUSE ACADIA, LLC	Fee: \$ state min. fee \$	Locally adopted fee
	<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant	Copy: <input type="checkbox"/> Owner <input type="checkbox"/> Town <input type="checkbox"/> State	
Mailing Address of	CALEB SCOTT 13 GREENHEAD LANE	The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with the application and the Maine Subsurface Wastewater Disposal Rules.	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant	STONINGTON, ME 04681		
Daytime Tel. #		Municipal Tax Map #	Lot #
email address:			
OWNER OR APPLICANT STATEMENT		CAUTION: INSPECTION REQUIRED	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.		I have inspected the installation authorized above and found it to be in compliance with Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant		Local Plumbing Inspector Signature	
Date		(1st Date Approved)	
		(2nd Date Approved)	

PERMIT INFORMATION


TYPE OF APPLICATION	THIS APPLICATION REQUIRES	DISPOSAL SYSTEM COMPONENT(S)
<input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type Replaced: _____ Year Installed: _____ <input type="checkbox"/> 3. Expanded System <input type="checkbox"/> a. Minor Expansion <25% <input type="checkbox"/> b. Major Expansion ≥ 25% <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	<input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit	<input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous components
SIZE OF PROPERTY 17 1/2 sq. ft. <input checked="" type="checkbox"/> acres	DISPOSAL SYSTEM TO SERVE <input type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: 3 <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: (SPECIFY) 30 Site Bath House for Campground - 6 employees	TYPE OF WATER SUPPLY <input checked="" type="checkbox"/> Proposed <input checked="" type="checkbox"/> Existing <input type="checkbox"/> 1. Drilled Wells <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other: _____
SHORELAND ZONING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Current Use: <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
<input checked="" type="checkbox"/> 1. Concrete <input type="checkbox"/> a. Regular 2-1500 GAL. <input type="checkbox"/> b. Low Profile TANKS <input type="checkbox"/> c. with lift station <input type="checkbox"/> d. water tight <input type="checkbox"/> e. two compartment <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY: 3000 gallons	<input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device 88 SIDE FEED CONCRETE CHAMBERS <input type="checkbox"/> a. Cluster Array <input type="checkbox"/> c. Linear <input type="checkbox"/> b. Regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE: 6776 sq. ft. <input type="checkbox"/> lin. ft.	<input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. Multi-compartment Tank <input type="checkbox"/> b. Tanks in Series <input type="checkbox"/> c. Increase in Tank Capacity <input type="checkbox"/> d. Filter on Tank Outlet	1872 gallons per day BASED ON <input type="checkbox"/> 1. Table 5A (dwelling unit(s)) <input checked="" type="checkbox"/> 2. Table 5C (other facilities) SHOW CALCULATIONS for other facilities 30 SITES x 60 GPD=1800 GPD 6 EMPLOYEES x 12 GPD=72 GPD 1872 GPD
SOIL DATA & DESIGN CLASS PROFILE CONDITION 3 / C at Observation Hole # 1 Depth 16" OF MOST LIMITING SOIL FACTOR	DISPOSAL FIELD SIZING <input type="checkbox"/> 1. Medium - 2.6 sq. ft./gpd <input checked="" type="checkbox"/> 2. Medium-Large - 3.3 sq. ft./gpd <input type="checkbox"/> 3. Large - 4.1 sq. ft./gpd <input type="checkbox"/> 4. Extra Large - 5.0 sq. ft./gpd	EFFLUENT/EJECTOR PUMP <input checked="" type="checkbox"/> 1. Not Required <input type="checkbox"/> 2. May be Required <input type="checkbox"/> 3. Required Specify only for engineered systems DOSE: _____ gallons	<input type="checkbox"/> 3. Section 4G (meter readings) ATTACH WATER METER DATA LATITUDE AND LONGITUDE at center of disposal area Lat. 44° d. 19' m. 01.55" N Lon. 68° d. 40' m. 21.50" W if g.p.s., state margin of error 30 ±


SITE EVALUATOR STATEMENT

I certify that on 4-14-2025 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

	319	4-27-25
Site Evaluator Signature	SE#	Date
WILLIAM A. LABELLE, JR.	(207) 537-5900	labelleseptic@rivah.net
Site Evaluator Name Printed	Telephone Number	E-mail Address

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

BATH HOUSE A

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health 116HS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
<p>NOTES:</p> <p>THIS IS A MIXED PROJECT WITH UP TO 60 SITES CONSISTING OF TENT SITES, ONE BED CABINS AND ONE BED GEODETIC TENTS. <u>NO RV/CAMPER SITES AND NO PLUMBING TO THE CABINS OR GEODETIC TENTS.</u> ALL CAMPERS WILL HAVE ACCESS TO THE BATH HOUSES, AND THERE ARE, ALSO, PIT PRIVIES FOR THE MORE REMOTE TENT SITES.</p> <p>I BELIEVE THIS IS BEING PERMITTED AS A CAMPGROUND AND I USED A 60 GPD PER SITE (TENT-CABIN-GEODETIC TENT). THIS IS BATH HOUSE A AND IS FOR UP TO 30 OF THE SITES USE - WHICH 30 SITES THAT WILL HAVE ACCESS, TO THIS BATH HOUSE; MUST BE CONTROLLED BY BEING DESIGNATED/TOLD OR POSSIBLY KEY CARDS COULD BE USED.</p> <p>THE WELL OR WELLS SERVING THIS PROJECT WILL BE CONSIDERED PUBLIC SUPPLY WELLS AND MUST BE 300 FEET MINIMUM, FROM ANY SEPTIC SYSTEM OR PIT PRIVY AND 150 FEET MINIMUM FROM ANY TANKS.</p> <p>GEODETIC TENTS AND CABINS SHALL HAVE ONE BED IN THEM AND SHALL NOT HAVE ANY PLUMBING IN THEM.</p> <p>"WATER TREATMENT SYSTEMS SHALL NOT BE CONNECTED TO THE SEPTIC SYSTEM", FOR FIRST TIME SYSTEMS.</p> <p>"IF A WATER TREATMENT SYSTEM EXIST AND IS CONNECTED TO THE SEPTIC SYSTEM, IT MUST BE REMOVED FROM THE SEPTIC SYSTEM", FOR REPLACEMENT SYSTEMS.</p>		
 Site Evaluator's Signature	319 S.E. #	4-27-25 Date

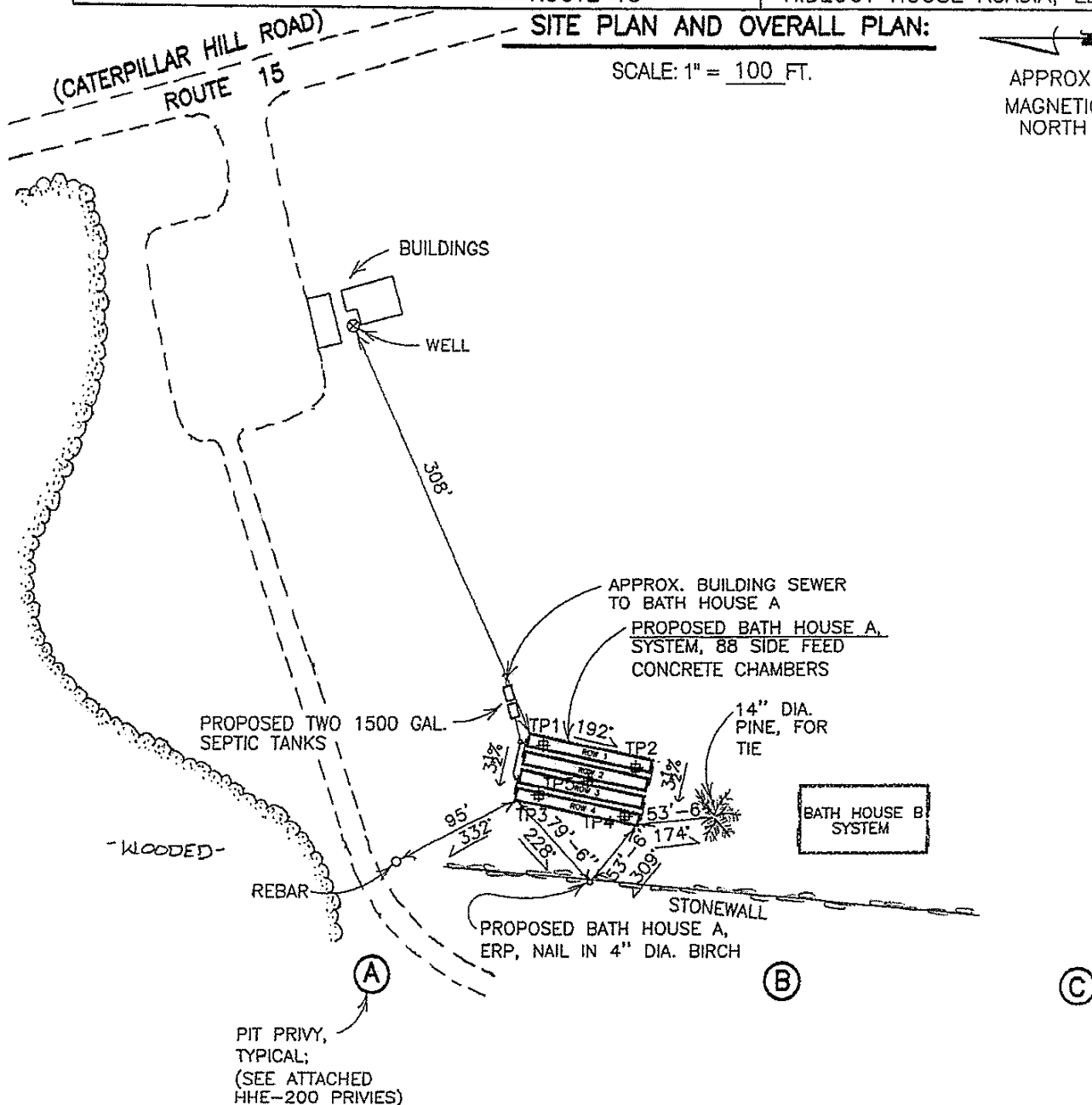
BATH HOUSE A

Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
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SITE PLAN AND OVERALL PLAN:

SCALE: 1" = 100 FT.

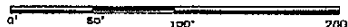
APPROX.
MAGNETIC
NORTH



NOTE:

SEE ALL NOTES
PAGES 1A, AND 3.

SCALE: 1" = 100'



[Signature]
Site Evaluator's Signature

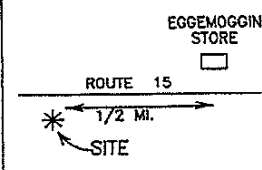
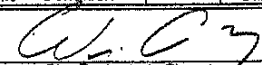
319
S.E. #

4-27-25
Date

BATH HOUSE A

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION			Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172																																							
Town, City, Plantation SEDGWICK		Street, Road, Subdivision ROUTE 15		Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC																																						
<p style="text-align: center;">SITE PLAN</p> <p style="text-align: center;">(SEE ATTACHED SITE PLAN)</p> <p style="text-align: right;">Scale 1" = <u>60</u> Ft.</p>			<p style="text-align: center;">SITE LOCATION PLAN</p> <p style="text-align: center;">(Attach map from Maine Atlas for First Time System Variance)</p>																																							
SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)																																										
<div style="display: flex; justify-content: space-between;"> <div style="width: 48%;"> <p>Observation Hole <u>TP#1</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring</p> <p><u>1</u> " Depth of organic horizon above mineral soil</p> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Texture</th> <th>Consistency</th> <th>Color</th> <th>Mottling</th> </tr> </thead> <tbody> <tr> <td>SANDY</td> <td rowspan="3">FRIABLE</td> <td>DARK BROWN (10 YR 3/3)</td> <td rowspan="3">N.E.</td> </tr> <tr> <td>STONY</td> <td>DARK YELLOWISH BROWN (10 YR 3/6)</td> </tr> <tr> <td>LOAM</td> <td></td> </tr> <tr> <td>TO</td> <td rowspan="3">FIRM</td> <td>OLIVE BROWN</td> <td rowspan="3">FEW DISTINCT</td> </tr> <tr> <td>SANDY</td> <td></td> </tr> <tr> <td>LOAM</td> <td>(2.5 Y 4/3)</td> </tr> </tbody> </table> </div> <div style="width: 48%;"> <p>Observation Hole <u>TP#2</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring</p> <p><u>1</u> " Depth of organic horizon above mineral soil</p> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Texture</th> <th>Consistency</th> <th>Color</th> <th>Mottling</th> </tr> </thead> <tbody> <tr> <td>SANDY</td> <td rowspan="3">FRIABLE</td> <td>DARK YELLOWISH BROWN (10 YR 4/4)</td> <td rowspan="3">N.E.</td> </tr> <tr> <td>GRAVELLY</td> <td>DARK YELLOWISH BROWN (10 YR 3/6)</td> </tr> <tr> <td>STONY</td> <td></td> </tr> <tr> <td>BOULDARY</td> <td rowspan="2">FIRM</td> <td>OLIVE BROWN</td> <td rowspan="2">FEW DISTINCT</td> </tr> <tr> <td>LOAM</td> <td>(2.5 Y 4/3)</td> </tr> </tbody> </table> </div> </div>					Texture	Consistency	Color	Mottling	SANDY	FRIABLE	DARK BROWN (10 YR 3/3)	N.E.	STONY	DARK YELLOWISH BROWN (10 YR 3/6)	LOAM		TO	FIRM	OLIVE BROWN	FEW DISTINCT	SANDY		LOAM	(2.5 Y 4/3)	Texture	Consistency	Color	Mottling	SANDY	FRIABLE	DARK YELLOWISH BROWN (10 YR 4/4)	N.E.	GRAVELLY	DARK YELLOWISH BROWN (10 YR 3/6)	STONY		BOULDARY	FIRM	OLIVE BROWN	FEW DISTINCT	LOAM	(2.5 Y 4/3)
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<p>Site Evaluator's Signature</p>		<p style="text-align: center;">319</p> <p style="text-align: center;">S. E. #</p>		<p style="text-align: center;">4-27-25</p> <p style="text-align: center;">Date</p>																																						
Page 2 of 3 HHE-200 Rev. 01/2025																																										

BATH HOUSE A

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172																																											
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC																																											
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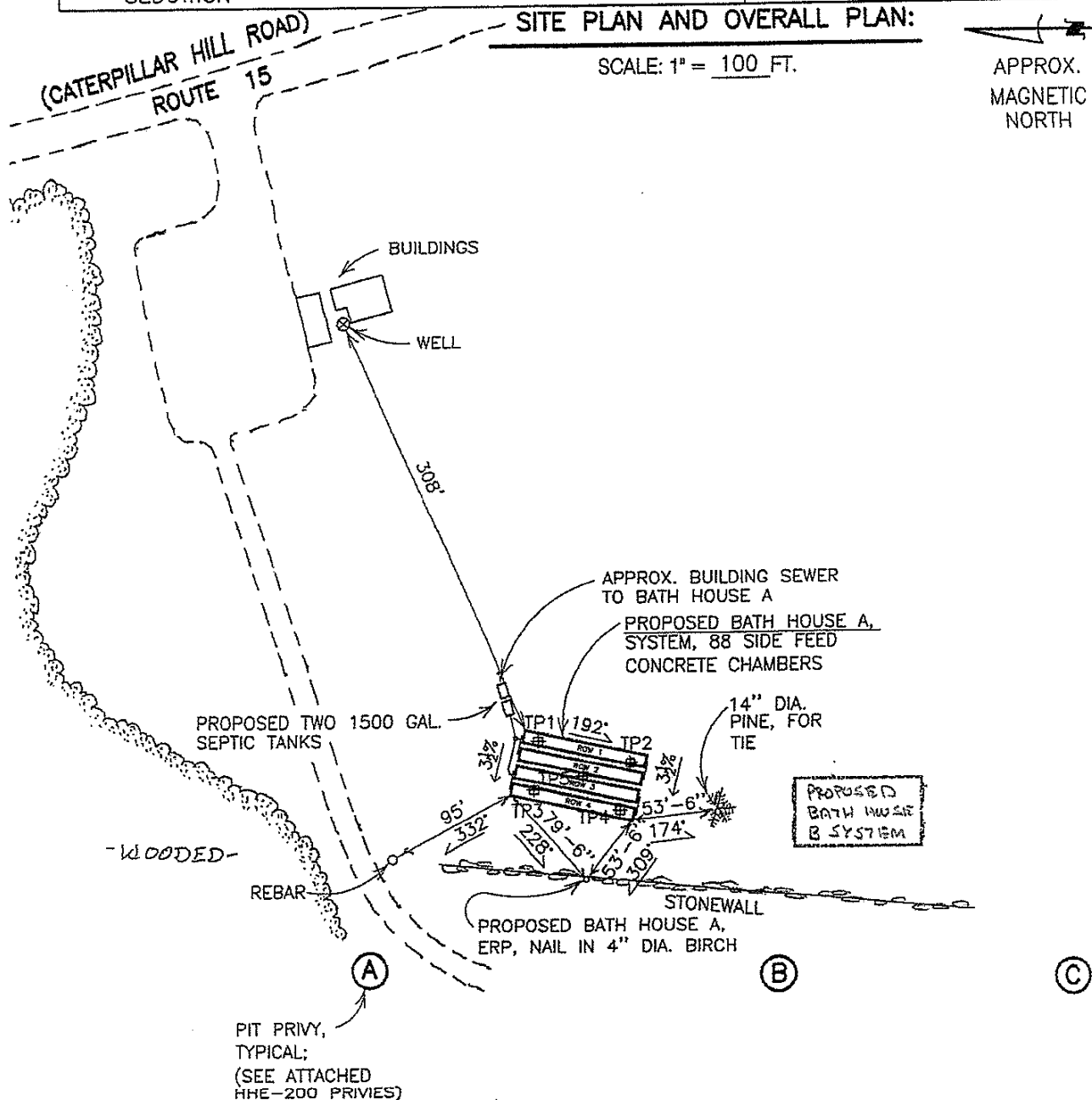
BATH HOUSE A

Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
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SITE PLAN AND OVERALL PLAN:

SCALE: 1" = 100 FT.

APPROX.
MAGNETIC
NORTH



NOTE:

SEE ALL NOTES
PAGES 1A, AND 3.

SCALE: 1" = 100'
0' 50' 100' 200'

[Signature]
Site Evaluator's Signature

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S.E. #

4-27-25
Date

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BATH HOUSE A

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SPS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

**MAGNETIC
NORTH**

SUBSURFACE WASTEWATER DISPOSAL PLAN:
 SCALE: 1" = 20 FT.

SCALE: 1" = 20 FT.

(SEE ATTACHED SUBSURFACE
WASTEWATER DISPOSAL PLAN)

NOTE:
SEE ALL NOTES
PAGES 2 AND 2A.

SCALE: 1" = 20'

FILL REQUIREMENTS Depth of Backfill (Upslope) <u>18"</u> Depth of Backfill (Downslope) <u>37"</u> <small>Depths @ cross-section shown below or on X-sec. detail.</small>	CONSTRUCTION ELEVATIONS Finished Grade Elevation _____ Top of Distribution Pipe or Proprietary Device <u>attached</u> Bottom of Disposal Field <u>X-Sec.</u>	SYSTEM: (See _____ <u>X-Sec.</u>)	PRVY: <u>N/A</u>	ELEVATION REFERENCE POINT Location & Description <u>NAIL 81"</u> <u>ABOVE GROUND IN A</u> <u>4" DIA. BIRCH</u> Reference Elevation is: <u>0"</u>
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NOTES: DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

1. Tank(s) must be 14' minimum from building.
2. Grade surrounding area to divert surface water away from system.
3. Public Supply Well to be 150' minimum from septic tank(s) and 300' minimum from disposal field.
4. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPs" (DEPW0588).
5. Install water tight, 18" dia. risers to finished grade on all covers of tank(s) and separate pump tanks.
6. Full basement below grade foundation frost wall must be 30' minimum from edge of disposal field and no full basement, slab, columns or posts must be 28' minimum from edge of disposal field.

Site Evaluator's Signature

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 S.E. #

4-27-25
 Date

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 HHE-200 Rev. 01/2025

Town, City, Plantation
SEDGWICK
Street, Road, Subdivision
ROUTE 15
Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

BATH HOUSE A

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

MAGNETIC
NORTH

PROPOSED TWO 1500 GAL.
SEPTIC TANKS

4" EFFLUENT LINE

3' DISTRIBUTION MANHOLE

4" SOLID
PIPE,
TYPICAL
APPROX.
EDGE OF FILL

PROPOSED 88 (4' x 8') SIDE FEED
CHAMBERS PLACED IN 2 SETS OF
2 ROWS OF 22 ROWS SEPARATED
BY 5'. FOUR CORNERS ARE STAKED OUT.

EDGE OF STONE

4" SOLID
PIPE,
TYPICAL
TIE ENDS
TOGETHER
53' - 6"
174°
TO
RED PINE,
TIE

NOTE:
SEE ALL NOTES
PAGES 2, 2A AND 3.
SCALE: 1" = 20'

0' 5' 10' 20' 30' 40'

STONEWALL

ERP, NAIL IN
4" DIA. BIRCH

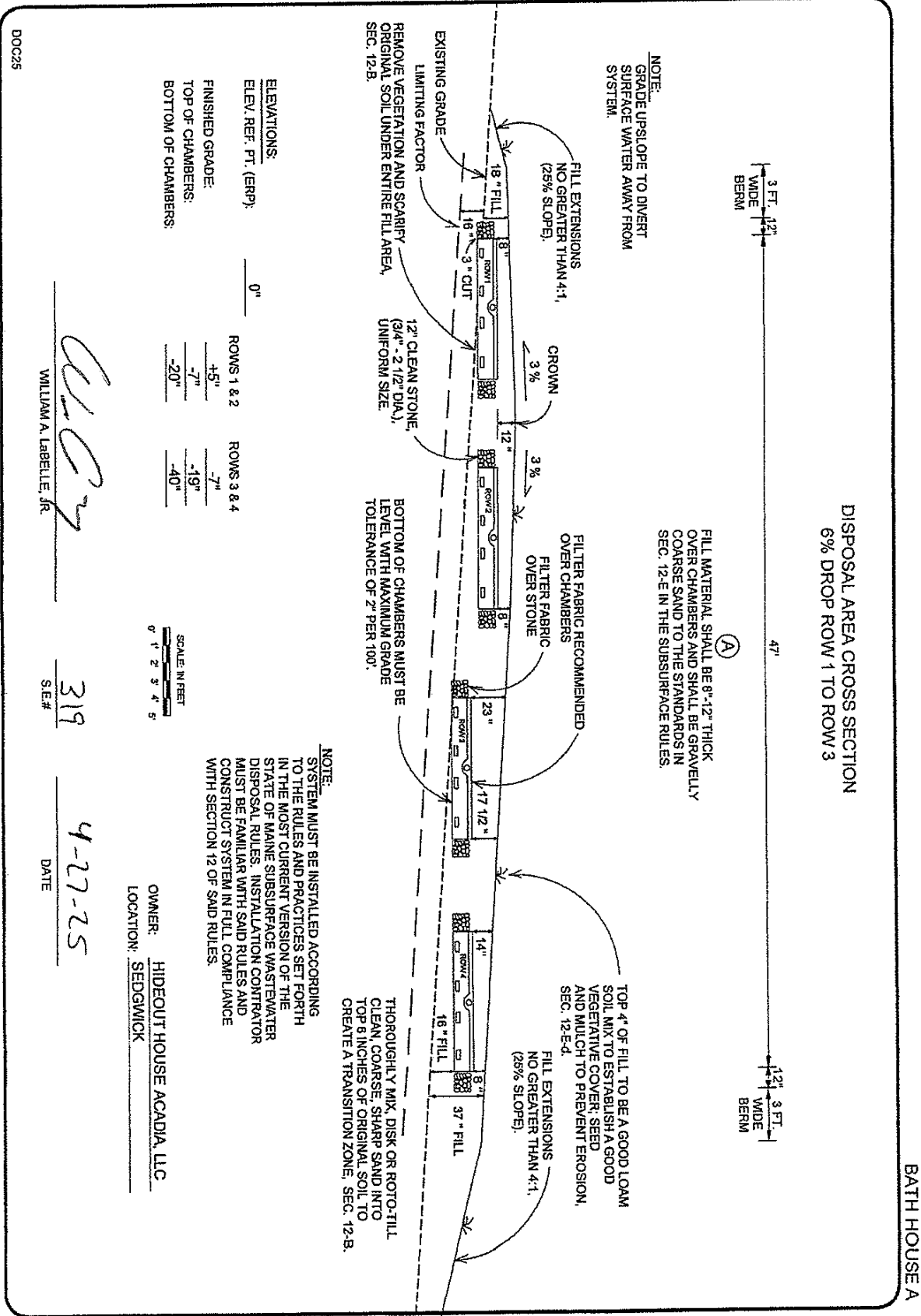
Site Evaluator's Signature

S.E. #

Date

319

4-27-25



BATH HOUSE B

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Div. Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	SEDGWICK	Town/City	Permit #
Street or Road	ROUTE 15	Date Permit Issued	Fee \$ Double Fee Charged ()
Subdivision, Lot #	BATH HOUSE B	L.P.I. #	
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature	
Name (last, first, MI)	HIDEOUT HOUSE ACADIA, LLC	Fee: \$ state min. fee \$ Locally adopted fee	
Mailing Address of	CALEB SCOTT 13 GREENHEAD LANE	Copy: <input type="checkbox"/> Owner <input type="checkbox"/> Town <input type="checkbox"/> State	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant	STONINGTON, ME 04681	The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with the application and the Maine Subsurface Wastewater Disposal Rules.	
Daytime Tel. #		Municipal Tax Map #	Lot #
email address:			
OWNER OR APPLICANT STATEMENT I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.		CAUTION: INSPECTION REQUIRED I have inspected the installation authorized above and found it to be in compliance with Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant		Local Plumbing Inspector Signature	
Date		(1st Date Approved)	
		(2nd Date Approved)	

PERMIT INFORMATION

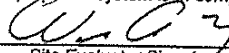
TYPE OF APPLICATION <input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type Replaced: _____ Year Installed: _____ <input type="checkbox"/> 3. Expanded System <input type="checkbox"/> a. Minor Expansion <25% <input type="checkbox"/> b. Major Expansion ≥ 25% <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion SIZE OF PROPERTY 17 1/2 <input type="checkbox"/> sq. ft. <input checked="" type="checkbox"/> acres SHORELAND ZONING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	THIS APPLICATION REQUIRES <input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit DISPOSAL SYSTEM TO SERVE <input type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: 3 <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: (SPECIFY) 30 Site Bath House for Campground - 6 employees Current Use: <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	DISPOSAL SYSTEM COMPONENT(S) <input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous components TYPE OF WATER SUPPLY <input checked="" type="checkbox"/> Proposed <input checked="" type="checkbox"/> Existing <input checked="" type="checkbox"/> 1. Drilled Wells <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other: _____
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DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK <input checked="" type="checkbox"/> 1. Concrete <input type="checkbox"/> a. Regular 2-1500 GAL. <input type="checkbox"/> b. Low Profile TANKS <input type="checkbox"/> c. with lift station <input type="checkbox"/> d. water tight <input type="checkbox"/> e. two compartment <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY 3000 gallons SOIL DATA & DESIGN CLASS PROFILE CONDITION 3 / C at Observation Hole # 1 Depth 15" OF MOST LIMITING SOIL FACTOR	DISPOSAL FIELD TYPE & SIZE <input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device 88 SIDE FEED CONCRETE CHAMBERS <input type="checkbox"/> a. Cluster Array <input type="checkbox"/> c. Linear <input type="checkbox"/> b. Regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE 6776 sq. ft. lin. ft.	GARBAGE DISPOSAL UNIT <input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. Multi-compartment Tank <input type="checkbox"/> b. _____ Tanks in Series <input type="checkbox"/> c. Increase in Tank Capacity <input type="checkbox"/> d. Filter on Tank Outlet EFFLUENT/EJECTOR PUMP <input checked="" type="checkbox"/> 1. Not Required <input type="checkbox"/> 2. May be Required <input type="checkbox"/> 3. Required Specify only for engineered systems DOSE: _____ gallons	DESIGN FLOW 1872 gallons per day BASED ON <input type="checkbox"/> 1. Table 5A (dwelling unit(s)) <input checked="" type="checkbox"/> 2. Table 5C (other facilities) SHOW CALCULATIONS for other facilities 30 SITES x 60 GPD = 1800 GPD 6 EMPLOYEES x 12 GPD = 72 GPD 1872 GPD <input type="checkbox"/> 3. Section 4G (meter readings) ATTACH WATER METER DATA LATITUDE AND LONGITUDE at center of disposal area Lat. 44° d 18' m 59.72" N Lon. 68° d 40' m 20.57" W if g.p.s., state margin of error 30 ±
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SITE EVALUATOR STATEMENT

I certify that on 4-14-2025 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

	319	4-27-25
Site Evaluator Signature	SE#	Date
WILLIAM A. LaBELLE, JR.	(207) 537 - 5900	labelleseptec@rivah.net
Site Evaluator Name Printed	Telephone Number	E-mail Address

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

BATH HOUSE B

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 BHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

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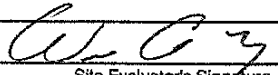
THIS IS A MIXED PROJECT WITH UP TO 60 SITES CONSISTING OF TENT SITES, ONE BED CABINS AND ONE BED GEODETIC TENTS. NO RV/CAMPER SITES AND NO PLUMBING TO THE CABINS OR GEODETIC TENTS. ALL CAMPERS WILL HAVE ACCESS TO THE BATH HOUSES, AND THERE ARE, ALSO, PIT PRIVIES FOR THE MORE REMOTE TENT SITES.

I BELIEVE THIS IS BEING PERMITTED AS A CAMPGROUND AND I USED A 60 GPD PER SITE (TENT-CABIN-GEODETIC TENT). THIS IS BATH HOUSE B AND IS FOR UP TO 30 OF THE SITES USE - WHICH 30 SITES THAT WILL HAVE ACCESS, TO THIS BATH HOUSE; MUST BE CONTROLLED BY BEING DESIGNATED/TOLD OR POSSIBLY KEY CARDS COULD BE USED.

THE WELL OR WELLS SERVING THIS PROJECT WILL BE CONSIDERED PUBLIC SUPPLY WELLS AND MUST BE 300 FEET MINIMUM, FROM ANY SEPTIC SYSTEM OR PIT PRIVY AND 150 FEET MINIMUM FROM ANY TANKS.

GEODETIC TENTS AND CABINS SHALL HAVE ONE BED IN THEM AND SHALL NOT HAVE ANY PLUMBING IN THEM.

"WATER TREATMENT SYSTEMS SHALL NOT BE CONNECTED TO THE SEPTIC SYSTEM", FOR FIRST TIME SYSTEMS.
 "IF A WATER TREATMENT SYSTEM EXIST AND IS CONNECTED TO THE SEPTIC SYSTEM, IT MUST BE REMOVED FROM THE SEPTIC SYSTEM", FOR REPLACEMENT SYSTEMS.

 Site Evaluator's Signature	319 S.E. #	4-27-25 Date
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Page 1A of 3
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BATH HOUSE B

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		319 S. E. #																																																											
4-27-25 Date		Page 2 of 3 HHE-200 Rev. 01/2025																																																											

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

Scale 1" = 60 Ft.

(SEE ATTACHED SITE PLAN)

SITE LOCATION PLAN
(Attach map from Maine Atlas
for First Time System Variance)

EGGEMOGGIN
STORE

ROUTE 15

* 1/2 ML

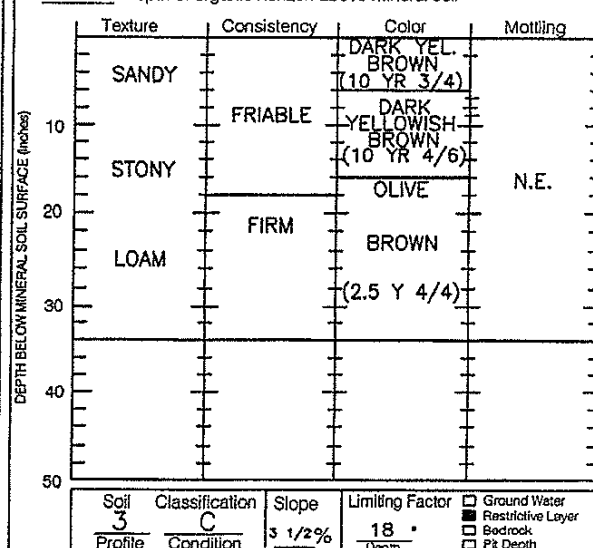
SITE

TP#9: 3-C, 24" RESTRICTIVE LAYER, 36" HOLE DEPTH
TP#10: 3-C, 24" RESTRICTIVE LAYER & S.G.W.T., 32" HOLE DEPTH
TP#12: 3-C, 24" S.G.W.T., 42" HOLE DEPTH (HAD WATER IN THE HOLE)
TP#13: 3-C, 16" RESTRICTIVE LAYER, 36" HOLE DEPTH

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)

Observation Hole TP#11 ☒ Test Pit ☐ Boring

1 * Depth of organic horizon above mineral soil



Site Evaluator's Signature _____

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S.F.#

1-27-25
Date

Page 2 of 3
HHE-200 Rev. 01/2025

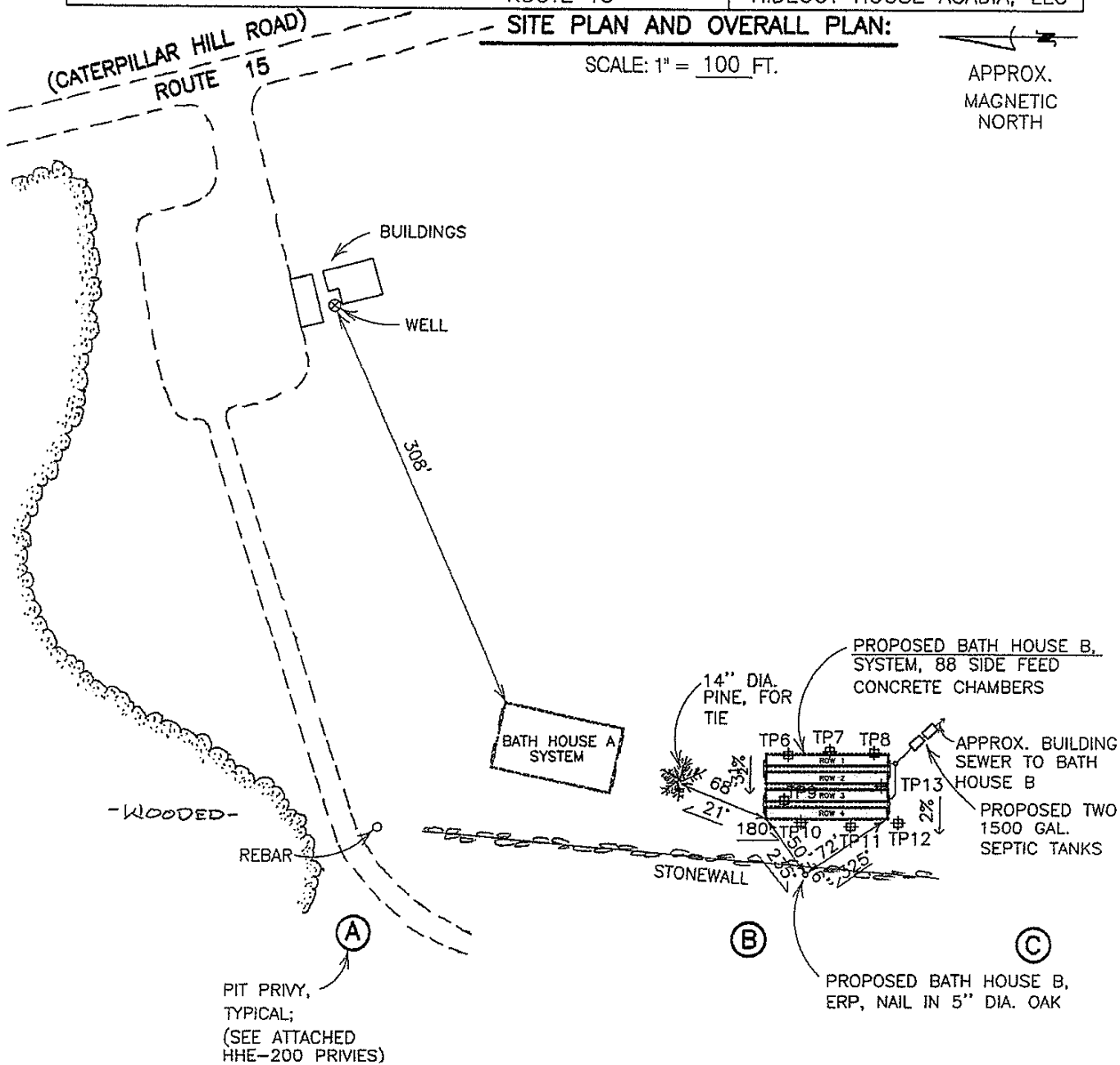
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
------------------------------------	---------------------------------------	------------------------------------------------------

BATH HOUSE B

SITE PLAN AND OVERALL PLAN:

SCALE: 1" = 100 FT.

APPROX.
MAGNETIC
NORTH



NOTE:

SEE ALL NOTES
PAGES 1A, AND 3.

SCALE: 1" = 100'

[Signature]
Site Evaluator's Signature

319
S.E. #

4-27-25
Date

(E)

BATH HOUSE B

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172	
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC	

MAGNETIC
NORTH

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

SCALE: 1" = 20 FT.

(SEE ATTACHED SUBSURFACE
WASTEWATER DISPOSAL PLAN)

NOTE:
SEE ALL NOTES
PAGES 2 AND 2A.

SCALE: 1" = 20'

FILL REQUIREMENTS Depth of Backfill (Upslope) <u>18" - 25"</u> Depth of Backfill (Downslope) <u>37"</u> <small>Depths @ cross-section shown below or on X-sec. detail.</small>	CONSTRUCTION ELEVATIONS Finished Grade Elevation _____ Top of Distribution Pipe or Proprietary Device <u>attached</u> Bottom of Disposal Field <u>X-Sec.</u>	SYSTEM: <u>(See</u> <u>N/A</u> <u>X-Sec.)</u>	PRVY: <u>N/A</u>	ELEVATION REFERENCE POINT Location & Description <u>NAIL 69"</u> <u>ABOVE GROUND IN A</u> <u>45" DIA. OAK</u> Reference Elevation is: <u>0.1'</u>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------	----------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------

NOTES: DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

1. Tank(s) must be 14' minimum from building.
2. Grade surrounding area to divert surface water away from system.
3. Public Supply Well to be 150' minimum from septic tank(s) and 300' minimum from disposal field.
4. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 Of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPW0588).
5. Install water tight, 18" dia. risers to finished finished grade on all covers of tank(s) and separate pump tanks.
6. Full basement below grade foundation frost wall must be 30' minimum from edge of disposal field and no full basement, slab, columns or posts must be 28' minimum from edge of disposal field.

Site Evaluator's Signature

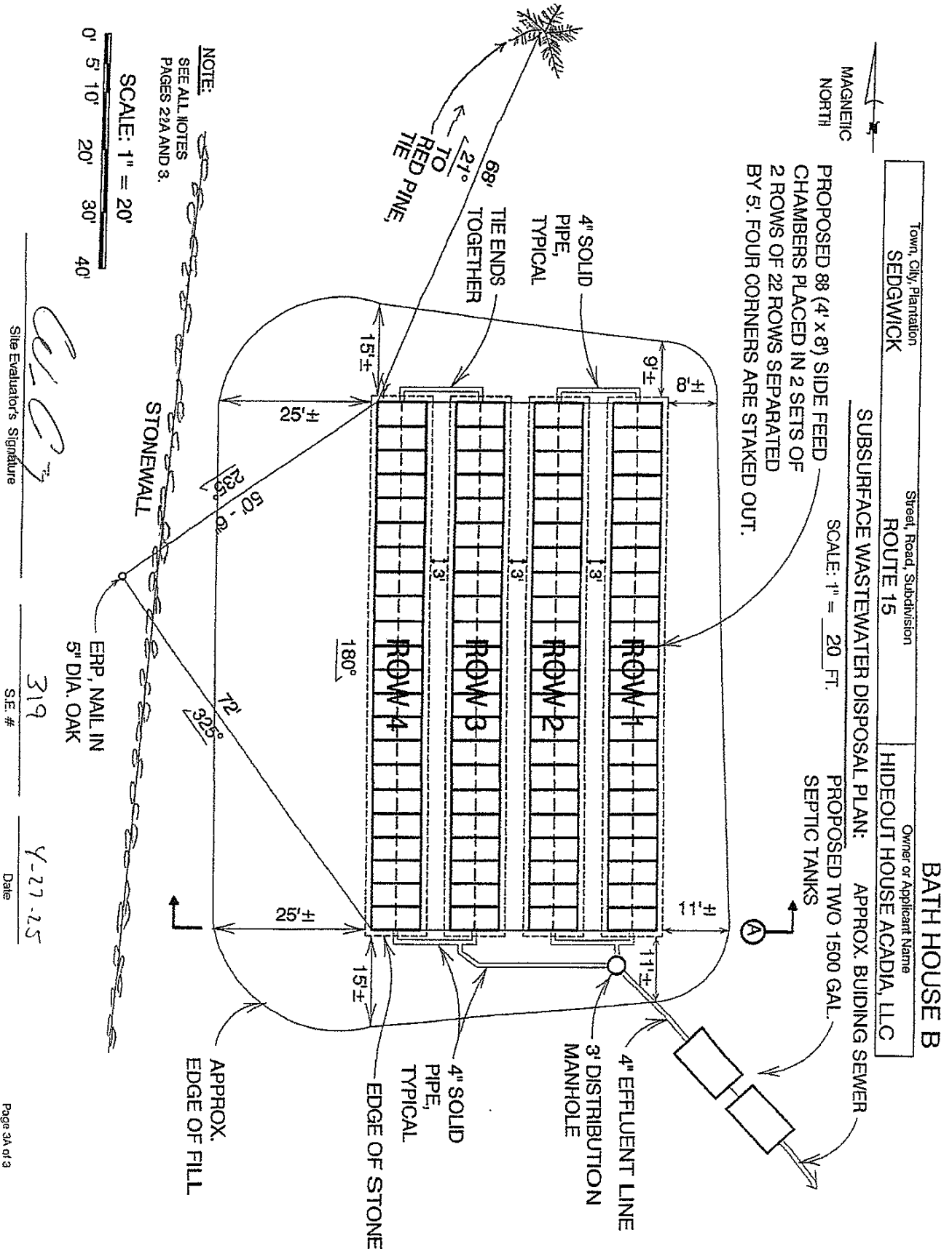
319

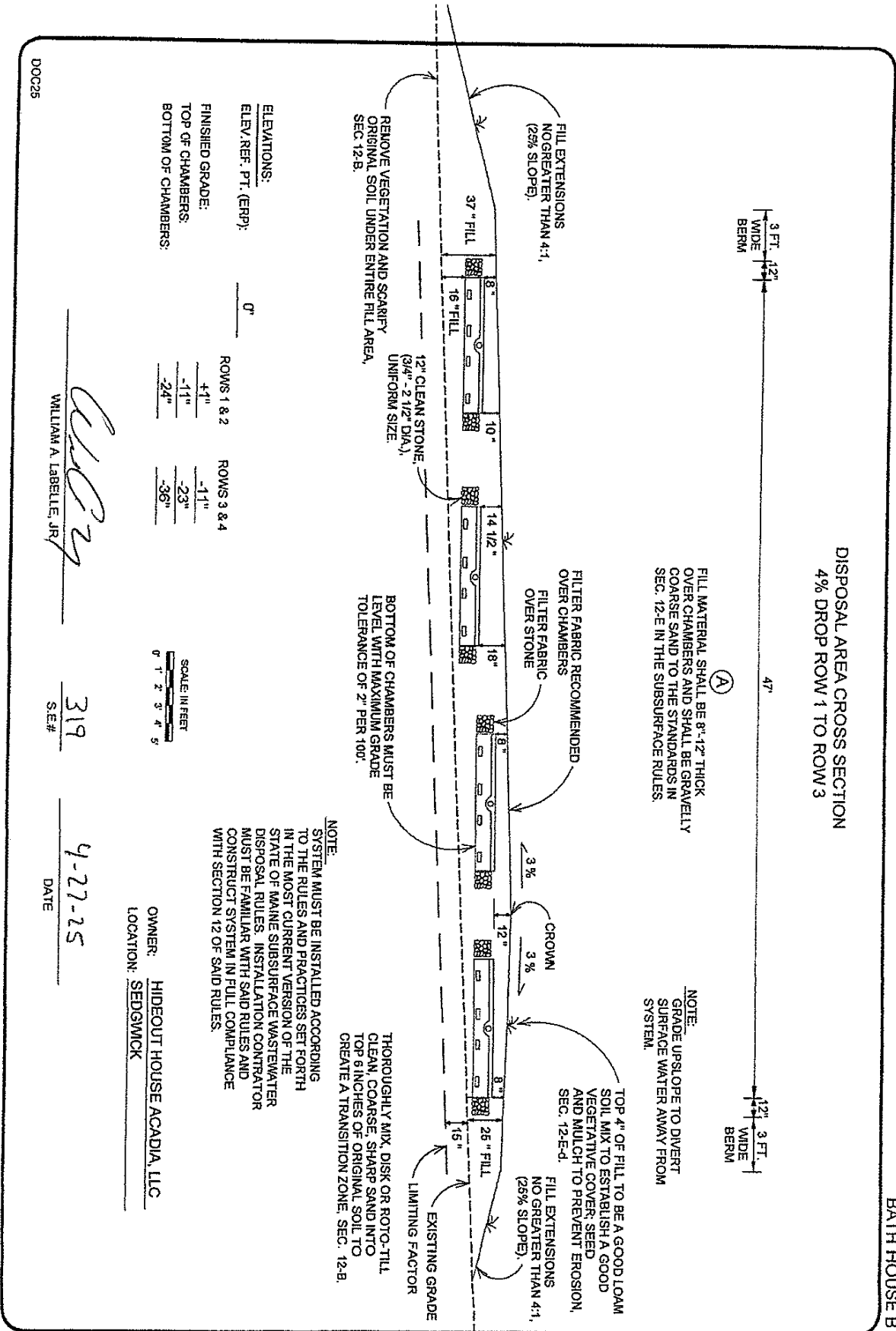
S.E. #

4-27-25

Date

Page 3 of 3
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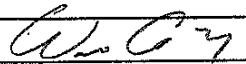




PRIVIES A - E

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Div. Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172	
PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	SEDGWICK	Town/City	Permit #
Street or Road	ROUTE 15	Date Permit Issued	Fee \$ Double Fee Charged ()
Subdivision, Lot #	PIT PRIVIES	L.P.I. #	
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature	
Name (last, first, MI)	HIDEOUT HOUSE ACADIA, LLC	Fee: \$ state min. fee \$ Locally adopted fee	
Mailing Address of	CALEB SCOTT 13 GREENHEAD LANE STONINGTON, ME 04681	Copy: <input type="checkbox"/> Owner <input type="checkbox"/> Town <input type="checkbox"/> State	
Daytime Tel. #		The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with the application and the Maine Subsurface Wastewater Disposal Rules.	
email address:		Municipal Tax Map # Lot #	
OWNER OR APPLICANT STATEMENT		CAUTION: INSPECTION REQUIRED	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.		I have inspected the installation authorized above and found it to be in compliance with Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant Date		Local Plumbing Inspector Signature (1st Date Approved)	
PERMIT INFORMATION			
TYPE OF APPLICATION		THIS APPLICATION REQUIRES	
<input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type Replaced: _____ Year Installed: _____ <input type="checkbox"/> 3. Expanded System a. Minor Expansion <25% b. Major Expansion ≥ 25% <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion		<input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit	
SIZE OF PROPERTY		DISPOSAL SYSTEM TO SERVE	
17 1/2 sq. ft. <input checked="" type="checkbox"/> acres		<input type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: 3 <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: (SPECIFY) 5 Pit Privies associated with Campground tent site	
SHORELAND ZONING		Current Use: <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		DISPOSAL SYSTEM COMPONENT(S)	
		<input type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input checked="" type="checkbox"/> 3. Alternative Toilet, specify: 5 Pit Privies <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous components	
		TYPE OF WATER SUPPLY	
		<input checked="" type="checkbox"/> 1. Drilled Wells <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other: _____	
DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK		DISPOSAL FIELD TYPE & SIZE	
<input type="checkbox"/> 1. Concrete a. Regular b. Low Profile c. with lift station d. water tight e. two compartment <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY _____ gallons		<input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input type="checkbox"/> 3. Proprietary Device _____ a. Cluster Array <input type="checkbox"/> c. Linear b. Regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE _____ sq. ft. <input type="checkbox"/> lin. ft.	
SOIL DATA & DESIGN CLASS		DISPOSAL FIELD SIZING	
PROFILE CONDITION _____ at Observation Hole # _____ Depth _____" OF MOST LIMITING SOIL FACTOR _____		<input type="checkbox"/> 1. Medium - 2.6 sq. ft./gpd <input type="checkbox"/> 2. Medium-Large - 3.3 sq. ft./gpd <input type="checkbox"/> 3. Large - 4.1 sq. ft./gpd <input type="checkbox"/> 4. Extra Large - 5.0 sq. ft./gpd	
		GARBAGE DISPOSAL UNIT	
		<input type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: a. Multi-compartment Tank b. _____ Tanks in Series c. Increase in Tank Capacity d. Filter on Tank Outlet	
		EFFLUENT/EJECTOR PUMP	
		<input type="checkbox"/> 1. Not Required <input type="checkbox"/> 2. May be Required <input type="checkbox"/> 3. Required Specify only for engineered systems DOSE: _____ gallons	
		DESIGN FLOW	
		gallons per day BASED ON <input type="checkbox"/> 1. Table 5A (dwelling unit(s)) <input type="checkbox"/> 2. Table 5C (other facilities) SHOW CALCULATIONS for other facilities N/A PIT PRIVIES ASSOCIATED WITH CAMPGROUND <input type="checkbox"/> 3. Section 4G (meter readings) ATTACH WATER METER DATA LATITUDE AND LONGITUDE at center of disposal area Lat. 44° 19' 02.3" N Lon. 68° 40' 23.7" W if g.p.s., state margin of error 30 ±	
SITE EVALUATOR STATEMENT			
I certify that on 4-14-2025 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).			
Site Evaluator Signature WILLIAM A. LaBELLE, JR.		319 SE# (207) 537-5900	
Site Evaluator Name Printed		Date 4-27-25 labelleseptic@rivah.net	
Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.		E-mail Address	

PRIVIES A - E

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-6070 FAX (207) 257-4172
Town, City, Plantation	Street, Road, Subdivision	Owner or Applicant Name
SEDGWICK	ROUTE 15	HIDEOUT HOUSE ACADIA, LLC
<p>NOTES:</p> <p>THESE 5 PIT PRIVIES ARE PART OF A LARGER 60 SITE CAMPGROUND PROJECT. PIT PRIVIES ARE FOR THE MORE REMOTE TENT SITES, BUT THOSE SITES/CAMPERS WILL ALSO HAVE ACCESS TO A BATH HOUSE, AS WELL.</p> <p>THE WELL OR WELLS SHALL BE 300 FEET MINIMUM FROM THESE PIT PRIVIES AND ANY SEPTIC SYSTEM AND 150 FEET MINIMUM FROM ANY TANK.</p>		
	319	4-27-25
Site Evaluator's Signature	S.E. #	Date

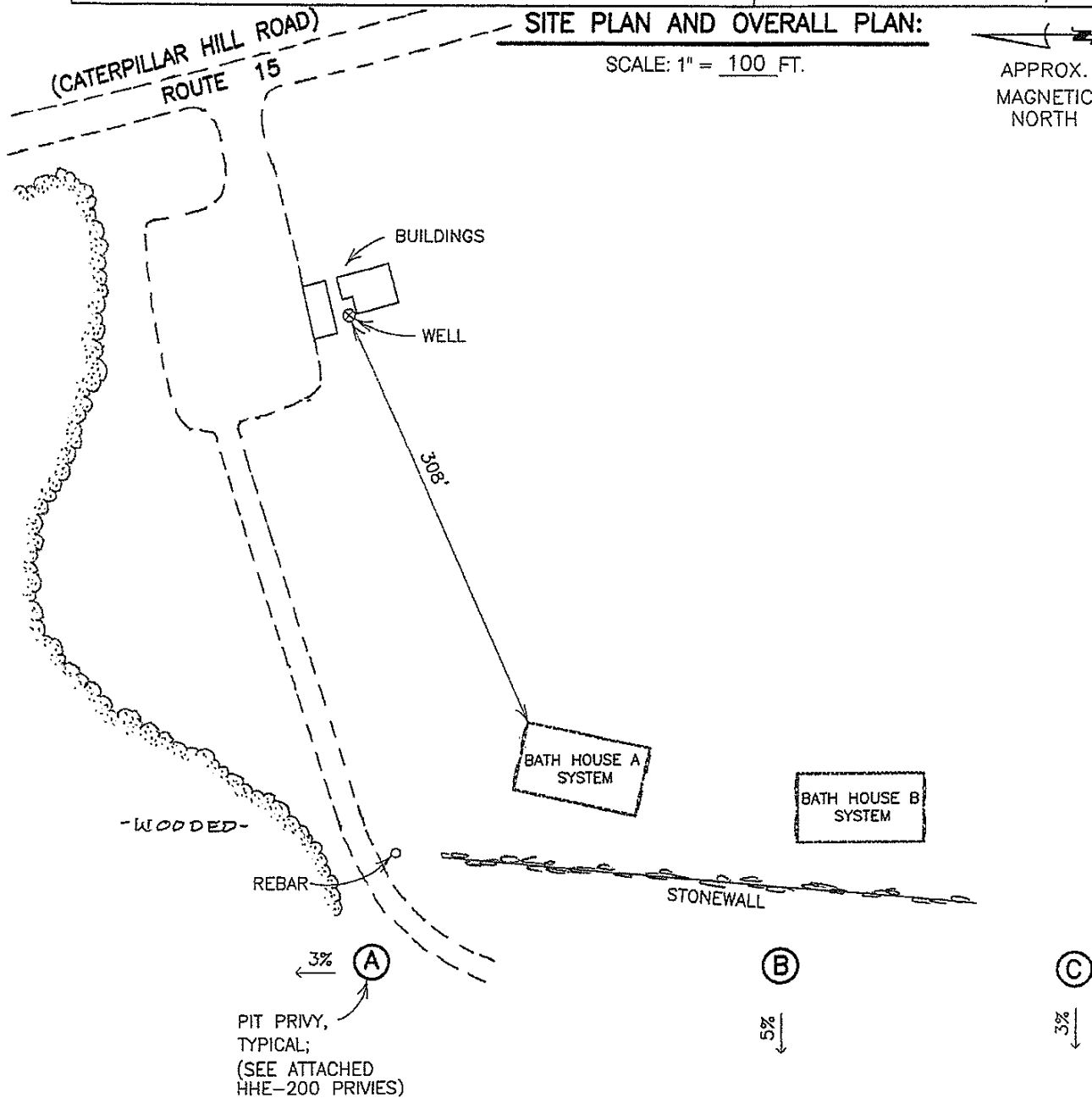
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PRIVIES A - E

Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
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SITE PLAN AND OVERALL PLAN:

SCALE: 1" = 100 FT.



NOTE:
SEE ALL NOTES
PAGES 1A, AND 3.

SCALE: 1" = 100'
0' 50' 100' 200'

[Signature]
Site Evaluator's Signature

319
S.E. #

4-27-25
Date

⑤
5% ↓

④
0% ↓

PRIVY A

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

SITE PLAN
(SEE ATTACHED SITE PLAN)

Scale 1" = 30 Ft.

at center of privy pit
 Lat. 44° d 19' m 02.3" N
 Lon. 68° d 40' m 23.7" W
 If g.p.s., state margin of error 30 ±

SITE LOCATION PLAN
(Attach map from Maine Atlas for First Time System Variance)

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)																																																															
<p>Observation Hole <u>TP#18</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring</p> <p><u>3</u> " Depth of organic horizon above mineral soil</p> <table border="1" style="width:100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Texture</th> <th>Consistency</th> <th>Color</th> <th>Mottling</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td>DARK YEL. BROWN (10 YR 4/6)</td> <td></td> </tr> <tr> <td>10 SANDY</td> <td>FRIABLE</td> <td></td> <td></td> </tr> <tr> <td>20 STONY</td> <td></td> <td>OLIVE BROWN</td> <td>N.E.</td> </tr> <tr> <td>30 LOAM</td> <td>COMPACTED</td> <td>(2.5 Y 4/4)</td> <td></td> </tr> <tr> <td>40</td> <td></td> <td></td> <td></td> </tr> <tr> <td>50</td> <td></td> <td></td> <td></td> </tr> </tbody> </table> <table border="1" style="width:100%; border-collapse: collapse; font-size: x-small;"> <tr> <td>Soil Profile <u>3</u></td> <td>Classification Condition <u>C</u></td> <td>Slope <u>3</u> %</td> <td>Limiting Factor <u>18</u> " Depth</td> <td> <input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth </td> </tr> </table>	Texture	Consistency	Color	Mottling			DARK YEL. BROWN (10 YR 4/6)		10 SANDY	FRIABLE			20 STONY		OLIVE BROWN	N.E.	30 LOAM	COMPACTED	(2.5 Y 4/4)		40				50				Soil Profile <u>3</u>	Classification Condition <u>C</u>	Slope <u>3</u> %	Limiting Factor <u>18</u> " Depth	<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth	<p>Observation Hole _____ <input type="checkbox"/> Test Pit <input type="checkbox"/> Boring</p> <p><u>1</u> " Depth of organic horizon above mineral soil</p> <table border="1" style="width:100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Texture</th> <th>Consistency</th> <th>Color</th> <th>Mottling</th> </tr> </thead> <tbody> <tr><td>10</td><td></td><td></td><td></td></tr> <tr><td>20</td><td></td><td></td><td></td></tr> <tr><td>30</td><td></td><td></td><td></td></tr> <tr><td>40</td><td></td><td></td><td></td></tr> <tr><td>50</td><td></td><td></td><td></td></tr> </tbody> </table> <table border="1" style="width:100%; border-collapse: collapse; font-size: x-small;"> <tr> <td>Soil Profile _____</td> <td>Classification Condition _____</td> <td>Slope _____ %</td> <td>Limiting Factor _____ " Depth</td> <td> <input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth </td> </tr> </table>	Texture	Consistency	Color	Mottling	10				20				30				40				50				Soil Profile _____	Classification Condition _____	Slope _____ %	Limiting Factor _____ " Depth	<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
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[Signature]

Site Evaluator's Signature

319

S. E. #

4-27-25

Date

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PRIVY A

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHG (207) 287-2070 FAX (207) 287-4112
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

MAGNETIC
NORTH

ERP, NAIL IN
10" DIA. SPRUCE

21'

50°

APPROX.
EDGE OF FILL

3%
SLOPE

8'±

6'±

25'

321'

6" DIA. SPRUCE,
FOR TIE

PROPOSED PIT PRIVY,
CENTER OF PIT IS
STAKED OUT

NOTE:
SEE ALL NOTES
PAGE 1A.

SCALE: 1" = 10'

FILL REQUIREMENTS Depth of Backfill (Upslope) <u>24"</u> Depth of Backfill (Downslope) <u>25 1/2"</u> <small>Depths @ cross-section shown below or on X-sec. detail.</small>	CONSTRUCTION ELEVATIONS Finished Grade Elevation _____ Top of Distribution Pipe or Proprietary Device _____ Bottom of Disposal Field/Privy pit _____	SYSTEM: _____	PRIVY: _____ -60"	ELEVATION REFERENCE POINT Location & Description <u>NAIL</u> <u>ABOVE GROUND IN A</u> <u>10" DIA. SPRUCE</u> Reference Elevation is: <u>0"</u>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------	--------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------

NOTES:

DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

1. Grade surrounding area to divert surface water away from privy.
2. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPWO588).

Site Evaluator's Signature

S.E. #

319

Date

4-27-25

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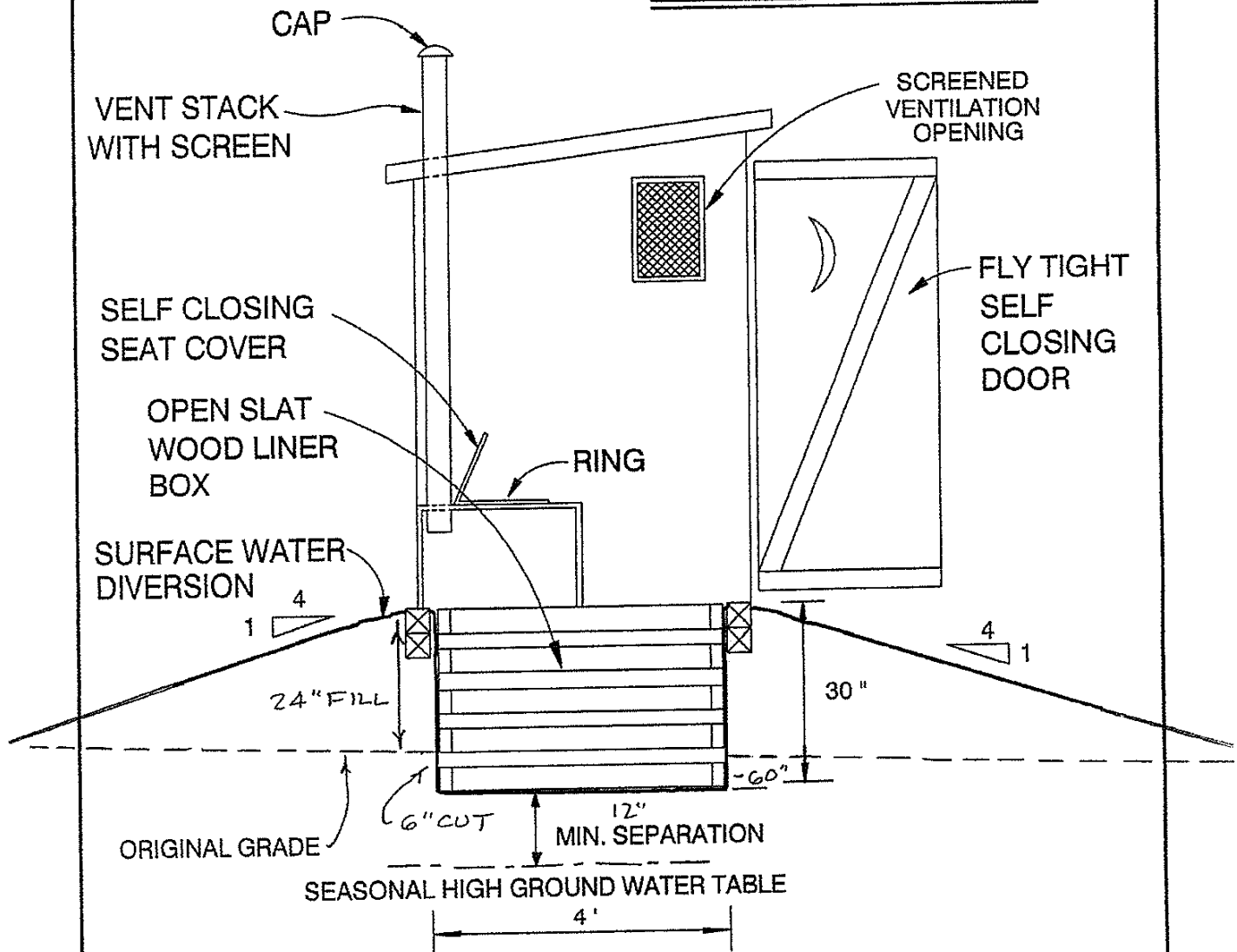
PRIVY A

TYPICAL PIT PRIVY 30" DEEP PIT

SCALE: 1" = 2'±

TOWN: SEDGWICK ROAD: ROUTE 15 OWNER: HIDEOUT HOUSE ACADIA, LLC

MAINTAIN PROPER SANITATION



ERP = NAIL 50" ABOVE GROUND IN 10" DIA. SPRUCE
LOCATED 50° AND 21' FROM CENTER OF PIT.
NAIL IS 60" ABOVE BOTTOM OF PIT.

CENTER OF PRIVY PIT IS STAKED OUT.

W. A. LaBelle, Jr.
WILLIAM A. LaBELLE, JR.

319
S.E.#

4-27-25
DATE

PRIVY B

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

SITE PLAN
(SEE ATTACHED SITE PLAN)

Scale 1" = 30 Ft.

MAGNETIC NORTH

17" DIA. PINE, FOR TIE

ERP, NAIL IN 4" DIA. OAK

TP#16, PROPOSED PIT PRIVY LOCATION

5% SLOPE

SITE LOCATION PLAN
(Attach map from Maine Atlas for First Time System Variance)

EGGENOGGIN STORE

ROUTE 15

1/2 MI.

SITE

at center of privy pit

Lat. 44° d 18' m 59.4" N
Lon. 68° d 40' m 22.3" W
if g.p.s., state margin of error 30' ±

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)											
Observation Hole <u>TP#18</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring <u>3</u> " Depth of organic horizon above mineral soil					Observation Hole _____ <input type="checkbox"/> Test Pit <input type="checkbox"/> Boring <u>1</u> " Depth of organic horizon above mineral soil						
DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling				Texture	Consistency	Color	Mottling
10	SILT	FRIABLE	DARK YELLOWISH BROWN (10 YR 4/6)	N.E.							
20	LOAM	COMPACTED	LIGHT OLIVE BROWN (2.5 Y 5/4)	COMMON DISTINCT							
30	TO										
40	SILT										
50											
Soil Profile <u>1</u> Classification <u>D</u> Slope <u>5 %</u> Limiting Factor <u>12 "</u> Condition _____ Depth _____					Soil Profile _____ Classification _____ Slope _____ Limiting Factor _____ Condition _____ Depth _____						
<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth					<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth						

W. C. 7
Site Evaluator's Signature

319
S. E. #

4-27-25
Date

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PRIVY B

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

← **MAGNETIC NORTH**

NOTE:
SEE ALL NOTES
PAGE 1A.

SCALE: 1" = 10'

FILL REQUIREMENTS Depth of Backfill (Upslope) <u>36"</u> Depth of Backfill (Downslope) <u>38 1/2"</u> <small>Depths @ cross-section shown below or on X-sec. detail.</small>	CONSTRUCTION ELEVATIONS Finished Grade Elevation <u> </u> Top of Distribution Pipe or Proprietary Device <u> </u> Bottom of Disposal Field/Privy pit <u> </u>	SYSTEM: <u> </u>	PRIVY: <u> </u>	ELEVATION REFERENCE POINT Location & Description <u>NAIL 54"</u> <u>ABOVE GROUND IN A</u> <u>4" DIA. OAK</u> Reference Elevation is: <u>6"</u>
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DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

NOTES:

1. Grade surrounding area to divert surface water away from privy.
2. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPWO588).

[Signature]

Site Evaluator's Signature

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4-27-25

Date

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PRIVY B

TYPICAL PIT PRIVY 30" DEEP PIT

SCALE: 1" = 2'±

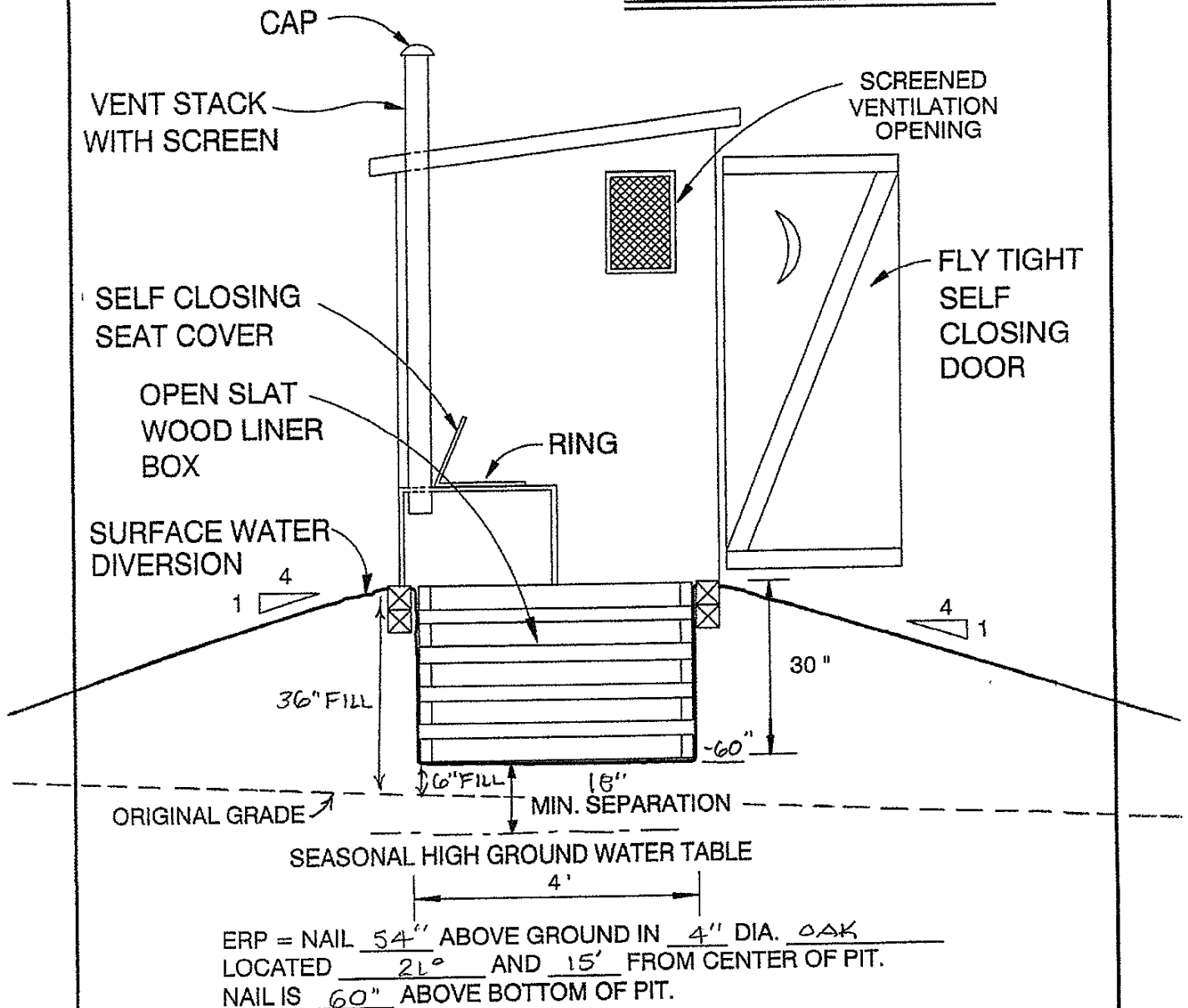
HIDEOUT HOUSE

TOWN: SEDGWICK

ROAD: ROUTE 15

OWNER: ACADIA, LLC

MAINTAIN PROPER SANITATION



CENTER OF PRIVY PIT IS STAKED OUT.

W. A. LaBelle, Jr.
WILLIAM A. LaBELLE, JR.

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S.E.#

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PRIVY C

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

SITE PLAN
(SEE ATTACHED SITE PLAN)

Scale 1" = 30 Ft.

ERP, NAIL IN 4" DIA. OAK

18" DIA. SPRUCE, FOR TIE

TP#16, PROPOSED PIT PRIVY LOCATION

3% SLOPE

SITE LOCATION PLAN
(Attach map from Maine Atlas for First Time System Variance)

EGGEMOGGIN STORE

ROUTE 15

1/2 MI.

SITE

at center of privy pit

Lat. 44° d 18' m 57.9" N

Lon. 68° d 40' m 21.1" W

If g.p.s., state margin of error 30' ±

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)									
Observation Hole <u>TP#18</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring <u>3</u> " Depth of organic horizon above mineral soil					Observation Hole _____ <input type="checkbox"/> Test Pit <input type="checkbox"/> Boring <u>1</u> " Depth of organic horizon above mineral soil				
DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling	DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
10	SILT	FRIABLE	DARK YELLOWISH BROWN (10 YR 3/6)	N.E.	10				
20	LOAM TO SILT	COMPACTED	LIGHT OLIVE BROWN (2.5 Y 5/4)	COMMON DISTINCT	20				
30					30				
40					40				
50					50				

Soil Profile <u>1</u>	Classification <u>D</u>	Slope <u>3</u> %	Limiting Factor <u>12</u> " Depth	<input checked="" type="checkbox"/> Ground Water Restrictive Layer <input type="checkbox"/> Pit Depth	
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Soil Profile _____	Classification _____	Slope _____ %	Limiting Factor _____ " Depth	<input type="checkbox"/> Ground Water Restrictive Layer <input type="checkbox"/> Pit Depth	
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Site Evaluator's Signature

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PRIVY C

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

MAGNETIC NORTH

ERP, NAIL IN
4" DIA. OAK

18" DIA. SPRUCE,
FOR TIE

PROPOSED PIT PRIVY,
CENTER OF PIT IS
STAKED OUT

APPROX.
EDGE OF FILL

3%
SLOPE

NOTE:
SEE ALL NOTES
PAGE 1A.
SCALE: 1" = 10'

FILL REQUIREMENTS Depth of Backfill (Upslope) <u>36"</u> Depth of Backfill (Downslope) <u>37 1/2"</u> <small>Depths @ cross-section shown below or on X-sec. detail.</small>	CONSTRUCTION ELEVATIONS Finished Grade Elevation <u> </u> Top of Distribution Pipe or Proprietary Device <u> </u> Bottom of Disposal Field/Privy pit <u> </u>	SYSTEM: <u> </u> PRIVY: <u> </u>	ELEVATION REFERENCE POINT Location & Description <u>NAIL 52"</u> <u>ABOVE GROUND IN A</u> <u>12" DIA. OAK</u> Reference Elevation is: <u>0"</u>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------

DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

NOTES:

1. Grade surrounding area to divert surface water away from privy.
2. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPWO588).

Site Evaluator's Signature

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PRIVY C

TYPICAL PIT PRIVY 30" DEEP PIT

SCALE: 1" = 2'±

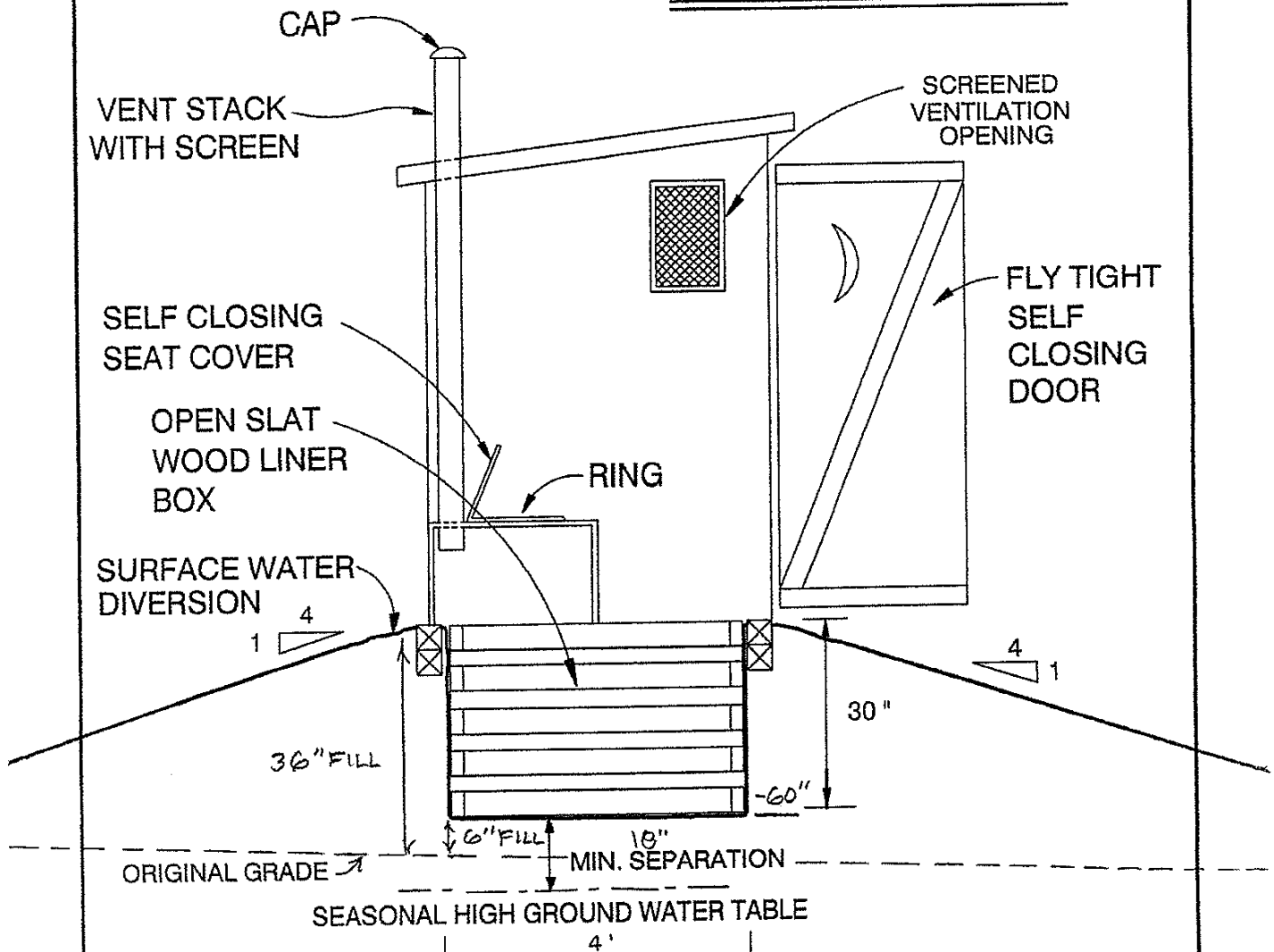
HIDEOUT HOUSE

TOWN: SEDGWICK

ROAD: ROUTE 15

OWNER: ACADIA, LLC

MAINTAIN PROPER SANITATION



ERP = NAIL 52" ABOVE GROUND IN 12" DIA. OAK
LOCATED 114° AND 13' FROM CENTER OF PIT.
NAIL IS 60" ABOVE BOTTOM OF PIT.

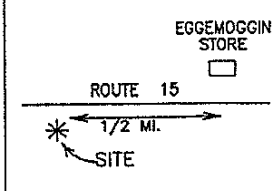
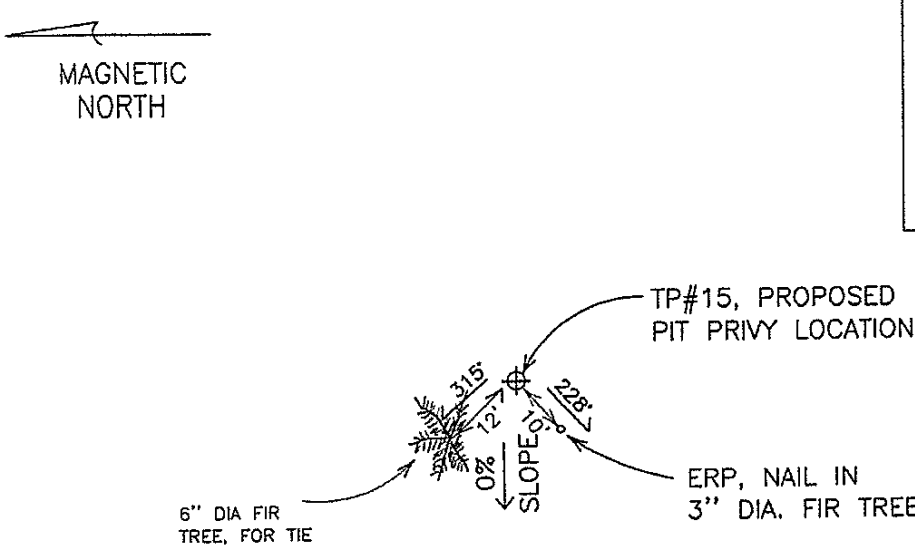
CENTER OF PRIVY PIT IS STAKED OUT.

W. A. LaBelle, Jr.
WILLIAM A. LaBELLE, JR.

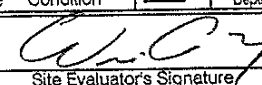
319
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PRIVY D

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
SITE PLAN (SEE ATTACHED SITE PLAN) Scale 1" = <u>30</u> Ft.		SITE LOCATION PLAN (Attach map from Maine Atlas for First Time System Variance) 
		
at center of privy pit Lat. <u>44° d 18' m 57.2" N</u> Lon. <u>68° d 40' m 21.9" W</u> If g.p.s., state margin of error <u>30' ±</u>		

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)									
Observation Hole <u>TP#18</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring <u>3</u> " Depth of organic horizon above mineral soil					Observation Hole <u>1</u> <input type="checkbox"/> Test Pit <input type="checkbox"/> Boring <u>1</u> " Depth of organic horizon above mineral soil				
DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling		Texture	Consistency	Color	Mottling
10	SILT LOAM	FRIABLE	DARK YELLOWISH BROWN (10 YR 4/6)	N.E.					
20			TO	FIRM	OLIVE BROWN (2.5 Y 4/4)				
30	SILT								
40									
50									
Soil Profile <u>1</u> Classification <u>D</u> Slope <u>0</u> % Limiting Factor <u>12</u> " Depth <input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth					Soil Profile <u>1</u> Classification <u> </u> Slope <u> </u> % Limiting Factor <u> </u> " Depth <input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth				


 Site Evaluator's Signature

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PRIVY D

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

MAGNETIC
NORTH

SCALE: 1" = 20 FT.

NOTE:
SEE ALL NOTES
PAGE 1A.
SCALE: 1" = 10'

FILL REQUIREMENTS	CONSTRUCTION ELEVATIONS	SYSTEM:	PRIVY:	ELEVATION REFERENCE POINT
Depth of Backfill (Upslope) <u>36"</u>	Finished Grade Elevation <u> </u>	<u> </u>	<u> </u>	Location & Description <u>NAIL 67"</u>
Depth of Backfill (Downslope) <u>36"</u>	Top of Distribution Pipe or Proprietary Device <u> </u>	<u> </u>	<u> </u>	<u>ABOVE GROUND IN A</u>
Depths @ cross-section shown below or on X-sec. detail.	Bottom of Disposal Field/Privy pit <u> </u>	<u> </u>	<u>-60"</u>	<u>10" DIA. SPRUCE</u>
Reference Elevation is: <u>0"</u>				

NOTES:

DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

1. Grade surrounding area to divert surface water away from privy.
2. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPWO588).

Site Evaluator's Signature

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PRIVY D

TYPICAL PIT PRIVY 30" DEEP PIT

SCALE: 1" = 2'±

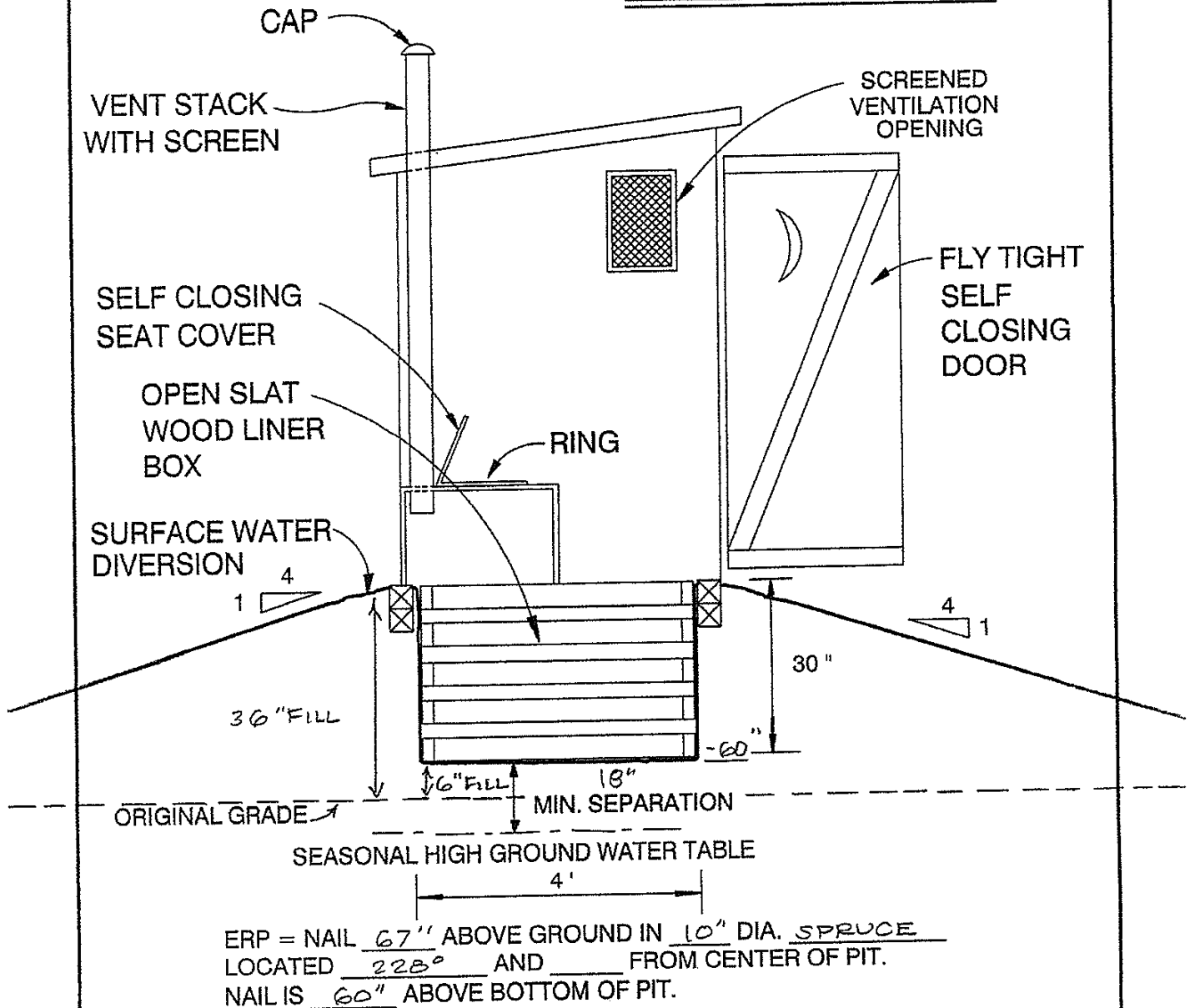
HIDEOUT HOUSE

TOWN: SEDGWICK

ROAD: ROUTE 15

OWNER: ACADIA, LLC

MAINTAIN PROPER SANITATION



CENTER OF PRIVY PIT IS STAKED OUT.

W. A. LaBelle, Jr.
WILLIAM A. LaBELLE, JR.

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S.E.#

4-27-25
DATE

PRIVY E

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

SITE PLAN
(SEE ATTACHED SITE PLAN)

Scale 1" = 30 Ft.

**MAGNETIC
NORTH**

ERP, NAIL IN
3" DIA. FIR TREE

5" DIA. SPRUCE,
FOR TIE

TP#14, PROPOSED
PIT PRIVY LOCATION

5% SLOPE

SITE LOCATION PLAN
(Attach map from Maine Atlas
for First Time System Variance)

at center of privy pit

Lat. 44° d 18' m 56.6" s N

Lon. 68° d 40' m 26.1" s W

if g.p.s., state margin of error 30' ±

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)																																																	
Observation Hole <u>TP#14</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring <u>2</u> " Depth of organic horizon above mineral soil					Observation Hole _____ <input type="checkbox"/> Test Pit <input type="checkbox"/> Boring <u>1</u> " Depth of organic horizon above mineral soil																																												
DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling																																													
10	LOAM	FRIABLE	DARK YEL. BROWN (10 YR 3/6)	N.E.																																													
20	TO SILT		LIGHT OLIVE BROWN (2.5 Y 5/4)	COMMON DISTINCT																																													
30	LOAM																																																
40	TO SILT																																																
50		FIRM																																															
<table style="width:100%; font-size: x-small;"> <tr> <td>Soil Profile</td> <td>Classification</td> <td>Slope</td> <td>Limiting Factor</td> <td><input checked="" type="checkbox"/> Ground Water</td> </tr> <tr> <td><u>1</u></td> <td><u>C</u></td> <td><u>5</u> %</td> <td><u>16</u> " Depth</td> <td><input type="checkbox"/> Restrictive Layer</td> </tr> <tr> <td></td> <td>Condition</td> <td></td> <td></td> <td><input type="checkbox"/> Bedrock</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td><input type="checkbox"/> Pit Depth</td> </tr> </table>					Soil Profile	Classification	Slope	Limiting Factor	<input checked="" type="checkbox"/> Ground Water	<u>1</u>	<u>C</u>	<u>5</u> %	<u>16</u> " Depth	<input type="checkbox"/> Restrictive Layer		Condition			<input type="checkbox"/> Bedrock					<input type="checkbox"/> Pit Depth	<table style="width:100%; font-size: x-small;"> <tr> <td>Soil Profile</td> <td>Classification</td> <td>Slope</td> <td>Limiting Factor</td> <td><input type="checkbox"/> Ground Water</td> </tr> <tr> <td><u>1</u></td> <td></td> <td></td> <td></td> <td><input type="checkbox"/> Restrictive Layer</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td><input type="checkbox"/> Bedrock</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td><input type="checkbox"/> Pit Depth</td> </tr> </table>					Soil Profile	Classification	Slope	Limiting Factor	<input type="checkbox"/> Ground Water	<u>1</u>				<input type="checkbox"/> Restrictive Layer					<input type="checkbox"/> Bedrock					<input type="checkbox"/> Pit Depth
Soil Profile	Classification	Slope	Limiting Factor	<input checked="" type="checkbox"/> Ground Water																																													
<u>1</u>	<u>C</u>	<u>5</u> %	<u>16</u> " Depth	<input type="checkbox"/> Restrictive Layer																																													
	Condition			<input type="checkbox"/> Bedrock																																													
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<u>1</u>				<input type="checkbox"/> Restrictive Layer																																													
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Site Evaluator's Signature

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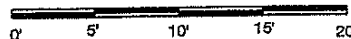
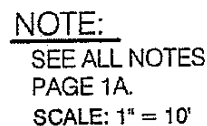
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

SCALE: 1" = 20 FT.

SCALE: 1" = 20 FT.



FILL REQUIREMENTS		CONSTRUCTION ELEVATIONS		SYSTEM:	PRIVY:	ELEVATION REFERENCE POINT
Depth of Backfill (Upslope)	26"	Finished Grade Elevation				Location & Description NAIL 42"
Depth of Backfill (Downslope)	28 1/2"	Top of Distribution Pipe or Proprietary Device				ABOVE GROUND IN A
		Bottom of Disposal Field/Privy pit		-60"		3" DIA. FIR TREE
Depths @ cross-section shown below or on X-sec. detail.						Reference Elevation is: 0"

DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

NOTES:

1. Grade surrounding area to divert surface water away from privy.
2. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPWO588).

Site Evaluator's Signature

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S.E. #

4-27-25
Date

TYPICAL PIT PRIVY 30" DEEP PIT

HIDEOUT HOUSE

OWNER: ACADIA, LLC

CAP

SCREENED
VENTILATION
OPENING

- FLY TIGHT
SELF
CLOSING
DOOR

- RING

4

26' FILL

30 ¹¹

ORIGINAL GRADE

SEASONAL HIGH GROUND WATER TABLE

ERP = NAIL 42" ABOVE GROUND IN 3" DIA. FIR TREE
LOCATED 30° AND 14' FROM CENTER OF PIT.
NAIL IS 60" ABOVE BOTTOM OF PIT.

CENTER OF PRIVY PIT IS STAKED OUT.

WILLIAM A. LaBELLE, JR.

319
S.E.#

4-27-25
DATE

Ferncrest Acadia Application Questions

SECTION II. Performance Standards

The following are to be used by the Planning Board as minimum requirements for approval of a site plan. The site plan shall be approved unless, in the judgment of the Planning Board, the application does not reasonably meet one or more of these standards.

A. Landscaping

The landscaping shall be preserved in its natural state *during construction and for the duration of permitted use* insofar as practicable by minimizing tree removal, disturbance of soil, and retaining existing vegetation during construction. Landscaping shall *delineate* street parking areas from the public right-of-way and abutting properties and structures and shall enhance the physical design of the buildings and site.

ANSWER 2A: Completed in application - See Below

Mini Golf Area & General Landscaping: Tailored Properties Is contracted to complete all the landscaping at Ferncrest Acadia. We plan to bring back 12 holes of mini golf which will be open to the public and our campers!

The plant selection will be based on the very hot and dry area, the barren soil and the shallow ledge. I will work in different tiers, a tall one for shade, a medium level that provides privacy and a shorter level for shrubs and tall grasses as fillers. Various spruce and fir may do well even with the shallow ledge to get the height in there, as I imagine some birch trees to do too. The medium layer could be bayberry, sumac, some viburnum, and rhododendron. Shorter shrubbier plants could include rugosa rose, sweet fern, and beach plum, and ferns.

B. Relationship of the Proposed Building to Environment

Proposed structures shall relate harmoniously to the terrain and to existing buildings in the vicinity. Special attention shall be paid to the bulk, setback and height of the building(s) and the natural features. The project will not have an undue adverse effect on the scenic or natural beauty of the area, aesthetics, historic sites or rare and irreplaceable natural areas.

Storage areas, building machinery, loading areas, utility buildings and similar structures shall have sufficient setbacks and screening to minimize their adverse impact on other land use within the development area and on surrounding properties.

All exterior lighting shall be designed to minimize adverse impact on the neighboring properties.

ANSWER 2B: Please see April 28, 2025 Application materials providing summary of campground and photographs of proposed dome and cabin structures including mini golf and general landscaping plans. Please also see landscaping lighting policy, as discussed at the public meeting, we will adhere to the dark sky requirements and minimize any adverse impact on neighboring properties.

- ☒ J) Dark Skies plan. The applicant has read and has implemented recommendations as described in the Technical Assistance Bulletin provided by the Maine State Planning Office

<https://www.maine.gov/dacf/municipalplanning/docs/lightingmanual.pdf>

Landscaping Lighting

At Ferncrest, we believe that darkness is a feature, not a flaw. Thoughtful, low-impact lighting helps guests reconnect with nature, sleep better and enjoy the magic of a starlit sky. The following is required at all Ferncrest franchise locations to protect the environment and create a serene and consistent guest experience.

- All lighting must be low-temperature (warm white, <2700K)
- Only downlights are permitted, no bright lights, flood lights, pole lights, or overhead lights.
- **Pathway lighting**
 - Space out pathlights at a minimum of 10-15' to give guidance without over-illumination
 - Use low-lumen LED warm light (100-300/fixture)
 - Solar-powered bollard lights or low-profile hooded stake lights are acceptable, as long as they emit soft, non-glare lighting.
- **Unit & Common Area Lighting**
 - Light should be mounted under eaves or integrated into structures with full shielding to prevent light spill.
 - Use motion-activated or photosensitive lights near unit entrances and common areas.
 - String lights permitted in amenity areas, but must be connected to a timer and automatically switched off at the start of quiet hours.
- **Parking & Vehicular Road Lighting**
 - No large parking lot lights, if lighting is needed:
 - Use low bollard lighting or solar markers to outline driveways and parking stalls

Franchisees must submit lighting plans for approval. Any changes to lighting systems must be submitted for review.



Ferncrest

C. Advertising Features

The size, location, design, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties. *Nationally branded or chain logos may be restricted at the discretion of the Board.*

ANSWER 2C: We will comply with the board's recommendations regarding exterior signs and outdoor advertising structures, provided for reference was the existing signage when the property was a mini-golf and take our restaurant.



D. Vehicular Access, Parking and Circulation

The proposed site layout shall provide for adequate location, number and control of access points and shall incorporate adequate *sight* distance and turning lanes where justified by existing and projected traffic flow, *and approved by the State Department of Transportation or Town Road Commissioner.*

The layout and design of vehicular and pedestrian ways, including walkways, interior drives, and parking areas, shall provide for safe general interior circulation, separation of pedestrian and vehicular traffic, service traffic, and loading areas.

3

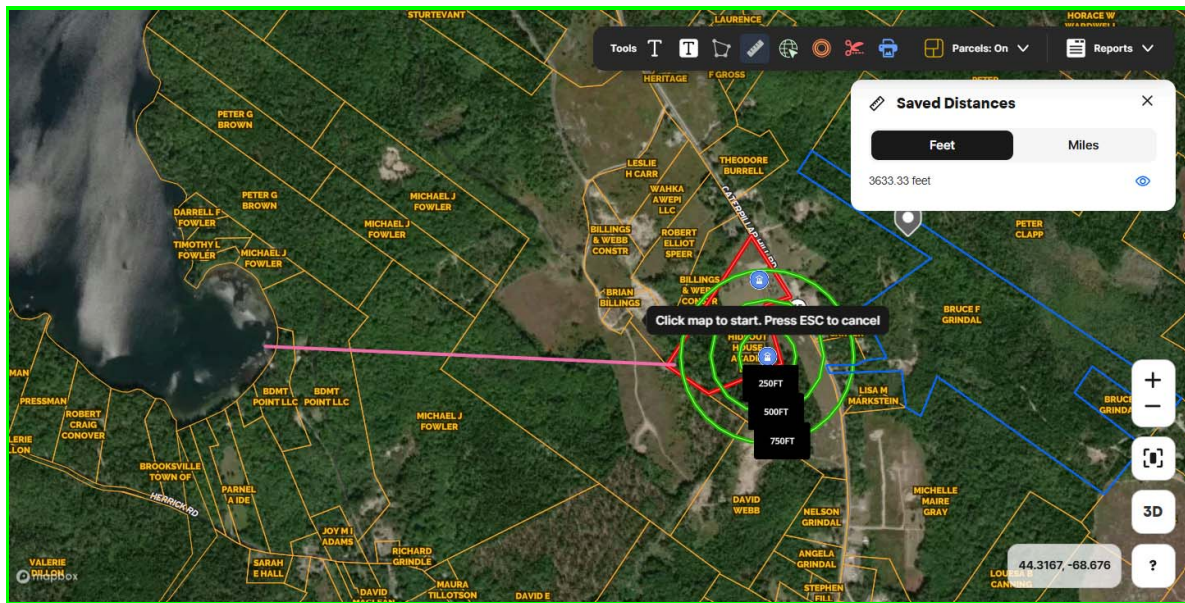
Provisions shall be made for providing and maintaining convenient and safe emergency vehicle access to all buildings and structures at all times. Heights of buildings may not exceed 30 feet so as to insure adequate service by fire suppression equipment.

Answer 3D: Max height of domes is 15 feet, with the platform (well under 30 feet). The entrance to the property from Route 175 has not changed and has sufficient sight distance for turning cars, as evidenced by years of previous operation of minigolf and driving range on the property. We will have sufficient parking as noted in our site plan map with 88 parking spaces. We are cooperating with the Town's Fire Chief to provide safe and convenient emergency vehicle access.

E. Water Quality

Adequate provisions shall be made for surface drainage so that removal of surface waters will not adversely affect neighboring properties, downstream water quality, potential for soil erosion, *or any* public storm drainage system. Whenever possible, on-site absorption of run-off waters shall be utilized to *minimize* off-site discharge.

Answer 3E: Walker Pond is 3633 feet away from the edge of the property line. There are no surface waters or streams on the property and none will be created by the campground. The parking lot and gravel road down to the woods was previously existing. Minimal ground disturbance will be created by the campsites, which are either located in an existing field or wooded areas, which have substantial natural buffers (ground vegetation and trees) in all directions that will eliminate any runoff or erosion onto any neighboring properties.



F. Air Quality

The project shall comply with all federal and state regulations.

Answer 2F: All Federal and State requirements will be complied with.

G. Water Supply

The project shall not cause an unreasonable burden on an existing water supply, *the aquifer, adjacent wells and water sources*, and there shall be sufficient water available for the reasonable foreseeable needs of the development.

Answer 2G: See April 28, 2025 Preliminary Approval for New Public Well (Well HD 2) to serve Ferncrest Acadia Campground; PWSID #ME0092907

H. Sewage Disposal

The project will provide an appropriate system for sewage waste disposal *designed and approved by a certified soil evaluator and licensed engineer*.

Answer 2H: Completed and including with April 28, 2025 application materials.

I. Conformity with Comprehensive Plan

Any proposed project shall be in conformity with the comprehensive plan of the Town of Sedgwick and with provisions of all pertinent state laws and local ordinances and regulations.

Answer 2I: A Comprehensive Plan is a document used to help Maine communities to plan for its future. It is not, however, an ordinance that has any jurisdiction or land use. Under Maine law, land use ordinances must be "pursuant to and consistent with a comprehensive plan adopted by the municipal legislative body." *Rommel v. City of Portland*, 2014 ME 114, 13, 102 A.3d 1168 (quoting 30-A M.R.S. § 4352(2)). However, an ordinance need not perfectly fulfill the goals of a comprehensive plan; it may be in basic harmony with the plan so long as it "strikes a reasonable balance among the municipality's various zoning goals" or "overlap[s] considerably" with the plan. *Id.* In addition, a comprehensive plan is considered as a whole; a municipality may conclude an ordinance is consistent with a comprehensive plan when it is in harmony with some provisions of the plan, even if the action appears inconsistent with other provisions of the plan. See *Adelman v. Town of Baldwin*, 2000 ME 91, 22, 750 A.2d 577. See also *City of Old Town v. Dimoulas*, 2002 ME 133, 19, 803 A.2d 1018 (the absence of language in a comprehensive plan expressly permitting a certain type of development should not be read to mean that that type of development is not permitted).

Nothing in the Town's 1993 Comprehensive Plan prohibits a campground in this area of Sedgwick. Indeed, under the Plan's goals for economic growth, it lists that "The Town designate areas within Sedgwick where small commercial/industrial development would be allowed, and that the Town support efforts to attract environmentally sound industry to Sedgwick." That is what Ferncrest has proposed with this campground in compliance with the Site Plan Review Ordinance (last amended January 27, 2016). So long as a development satisfies the requirements of the SPRO, it conforms with the Comprehensive Plan.

The project will comply with all other pertinent state law.

SECTION III. Design Standards

A. Monuments

1. Pertinent monuments shall be set at all corners and angle points of the subdivision boundaries, and at all street intersections.
2. Monuments shall be concrete, stone, or iron pipe, located in the ground and indicated on the Final Plan.

Answer 3A: Please see Plan of Boundary Survey prepared by Richard Bowden, PLS, provided with April 8, 2025 application materials.

B. Off-Street Parking and Loading

1. Off-street parking, either by means of unenclosed suitable spaces each having a minimum area of 220 square feet plus necessary maneuvering space, or by enclosed garage space, shall be provided in the case of new construction, alterations, substantial enlargements and change of use, according to the following minimum requirements:

a. Off-street parking either by means of open air spaces or by garage space, in addition to being a permitted use, shall be considered as an accessory use when required or provided to serve conforming uses located in any district.

b. Required off-street parking spaces shall be located on the same or *directly adjacent* lot as the principle building or use.

c. The following minimum off-street parking requirements shall be provided and maintained in the case of new construction, alterations and changes of use:

1) Dwellings2 parking spaces for each dwelling unit.

2) Schools 5 parking spaces for each room plus 1 space for each 4 employees.

3) Health Institutions (bed facilities only).....1 parking space for every 3 beds, plus 1 for each employee based on the expected average employee occupancy.

4) Theaters, churches, & other public assembly places 1 parking space for every 4 seats for every 100 square feet or major fraction thereof of assemblage space if no fixed seats.

5) Retail stores1 parking space for every 200 square feet of retail area, plus one space for every 2 employees.

6) Restaurants, eating and drinking establishments 1 parking space for every 4 seats, plus 1 space for 2 employees.

7) Professional offices and public buildings1 parking space for every 200 square feet of gross leasable area, exclusive of cellar and bulk storage areas.

8) Marinas Minimum of 30 parking spaces plus 1 parking space for each docking and mooring space.

9) Other commercial recreation establishments (mini-golf courses, touring/sightseeing buses, etc.)Minimum of 30 parking spaces, or the number of spaces deemed appropriate by the Planning Board in Site Plan Review.

10) Industrial 1 parking space for each 1.5 employees, based on the highest expected average employee occupancy, plus visitor and customer parking to meet the needs of specific operations.

Answer 3B:Mini golf courses require a minimum of 30 parking spaces. There are no requirements for a campground. We proposed 1x per camping spot (48) (similar to the requirement for 1 parking spot for 4 seats at a restaurant) + 30 parking spaces with an extra 10 spaces as needed, totalling 88 parking spaces.

C. Roads

1. Roads shall be located, constructed, and maintained so that erosion is kept to a minimum. Adequate provisions shall be made to prevent soil erosion and sedimentation of surface waters.
2. Additionally, all roads constructed shall conform to the following standards:
 - a. Road crossing of watercourses shall be kept to the minimum number necessary.
 - b. Diameter of culverts shall be suitable and installed at streambed elevation.
 - c. All cut or filled banks and areas of exposed mineral soil shall be re-vegetated or otherwise stabilized as soon as possible.
 - d. When road crossings of watercourses are to be used on unfrozen surface water, bridges or culverts of adequate size and design shall be provided as to support a Gross Vehicle Weight of 100,000 pounds.
 - e. The arrangement, character, extent, width, grade, and location of all roads shall be considered in their relation to existing or planned roads to topographical conditions, to public convenience and to safety, and their appropriate relation to the proposed use of the land to be served by such roads. Grades of roads shall conform as closely as possible to the original topography.
 - f. All roads shall be constructed according to design specifications herein as overseen by the municipal road commissioner, appointed engineer, or agent. Waiver to these specifications will be considered by the Planning Board upon written request by the applicant.

Height clearance 13'6"

Minimum width of right-of-way	66'
Minimum width of pavement	20'
Minimum grade5%
Maximum grade	6%
Maximum grade at intersection	3% within 50' at intersection
Minimum angle of intersection	60 deg.
Minimum width of shoulder	3'
Minimum centerline radii on curves	200'
Minimum tangent length between reverse curves	200'
Minimum setback from shoreline boundary	100'
Road base (minimum)	24"
Base (bank gravel)	18"
Gravel surface sources (screened gravel)	6"
Bituminous paving	1 ½"
Road crown (minimum)	¼ x 1"
Sidewalks/walkways (minimum where required)	4'
Base course (gravel)	12'

Dead-end or cul-de-sac right-of-way:

Minimum width	66'
Length, not more than	1,000'
Radii or turn-around at enclosed end of	
Property line (minimum)	80'
Pavement (minimum)	65'
Property line radii at intersections (minimum)	10'
Curb radii at intersections:	
90 degree intersections	25'
Less than 90 degree intersections	30'

g. Road intersections and curves shall be so designated as to permit adequate visibility for both pedestrian and vehicular traffic. That portion of any corner lot which is necessary to allow 25 foot sight lines between intersecting roads shall be cleared of all growth (except isolated trees) and obstructions above the level three feet higher than the center line of the road. If directed, ground shall be excavated to achieve visibility.

h. A vehicle turn out shall be provided every 500 feet. Each shall be a minimum of fifteen (15) feet wide, twenty-five (25) feet deep.

i. All dead-end streets shall be constructed to provide a cul-de-sac turn-around. The Board may require the reservation of a fifty (50) foot easement in line with the street to provide continuation of the road where future development is possible.

Answer 3C: There is an existing gravel parking lot and road on the property. We will work with our contractors to adhere to all necessary road requirements listed in the site plan review ordinance for all additional gravel road construction to access additional campsites as they are constructed. There are no watercourses on the property that require a crossing or culvert and there is ample natural buffering to mitigate any potential runoff or erosion into neighboring properties.

The contractor will employ Maine Erosion and Sediment Control Practices Field Guide for Contractors published by the Maine Department of Environmental Protection. See www.maine.gov/dep/land/erosion/escbmps/esc_bmp_field.pdf

As noted on the April 8th meeting at the initial planning board meeting, we will work with David Carter, the fire chief to discuss road requirements for the back campsites and emergency vehicle access.

D. Street Signs

1. Streets which join or are in alignment with streets of abutting or neighboring properties shall bear the same name. Names of new streets shall not duplicate, nor bear phonetic resemblance to the names of existing streets within the municipality and shall be subject to the approval of the Board.

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[REDACTED]

2. Street name signs shall be furnished and installed by the Town.

Answer 3D: Not Applicable

E. Sidewalks

Sidewalks shall be installed at the expense of the applicant where the development abuts or fronts onto a major street, and at such locations as the Board may deem necessary.

Answer 3E: Not Applicable, as there are no sidewalks along Route 175.

F. Storm Water Management

1. Adequate provisions shall be made for disposal of all storm water generated, and any drained groundwater through a management system of swales, culverts, underdrains and storm drains. The storm water management system shall be designed to conduct storm water flows to existing water courses and storm drains.

a. All components of the storm water management system shall be designed to meet the criteria of a twenty-five year storm based on rainfall data for the Sedgwick area.

b. The minimum pipe size for any storm drainage pipe shall be twenty-five inches. Maximum trench width at the pipe crown shall be the outside diameter of the pipe plus two feet. Pipe shall be bedded in a fine granular material, containing no stones larger than 3 inches, lumps of clay, or organic matter, reaching a minimum of six inches below the bottom of the pipe extending to six inches above the top of the pipe.

c. Catch basins shall be installed where necessary and located at the curve line.

d. Outlets shall be stabilized against soil erosion by stone rip rap or other suitable materials to reduce storm water velocity.

2. The storm water management system shall be designed to accommodate upstream drainage, taking into account existing conditions and approved for planned development not yet built and shall include a surplus design capacity factor of 25% for potential increases in upstream runoff.

3. Downstream drainage requirements shall be studied to determine the effect of the proposed development. The storm drainage shall not overload existing or future planned storm drainage systems downstream from the site. The applicant shall be responsible for financing any improvements to existing drainage systems required to handle the increased storm flows, as determined by a civil engineer or other professional in the field licensed by the State of Maine.

4. Where a development is traversed by a watercourse, drainageway, or future sewer line, or where the Board feels that surface water drainage to be created by the development and owners of property abutting it, there shall be provided an easement or drainage right-of-way within such development and over the

property of owners abutting upon it, of such nature, width, and location as the Board or Municipal Engineer deems adequate.

5. Wherever the storm drainage system is not within the right-of-way of a public street, perpetual easements shall be provided to the Town allowing maintenance and improvement of the system.

6. Where soils require a subsurface drainage system, the drains shall be installed and maintained separately from the storm water drainage system.

Answer 3F: The property consists of 17.76 acres of land on the west side of Route 175 which currently consists of undeveloped forested land, open field, blueberry barrens, and an existing gravel parking area and road and small minigolf area. The existing terrain is a relatively consistent slope with the current stormwater running in a south-westerly direction.

As proposed, the project scope will primarily involve the creation of 48 campsites. The direction of stormwater will continue to flow in the same general direction as it does now. The site will not require any special measures for slope stabilization or erosion control. The flow of stormwater off this site will not impact any of the existing homes within the area as the direction of the flow is away from the current homes. There is over 3000 feet of forestland between the property's western edge and Walker Pond. No channelization of stormwater runoff is expected.

Common best practices for the construction sites suggest the contractor should start during a period where no severe weather is expected within the next 48 hours. The contractor will employ Maine Erosion and Sediment Control Practices Field Guide for Contractors published by the Maine Department of Environmental Protection. See www.maine.gov/dep/land/erosion/escbmps/esc_bmp_field.pdf

G. Water Supply

1. A public water supply system with fire hydrants *may be required to be installed* at the expense of the applicant, or if in the opinion of the Board service is not feasible, the Board may allow individual wells to be used, which shall be installed at the expense of the applicant on lots containing dwellings erected by the applicant.
2. The Planning Board may require that water storage be provided to meet fire protection needs of such a nature as the municipal fire chief deems necessary.
3. Because they are difficult to maintain in a sanitary condition, dug wells shall be permitted only if it is not economically or technically feasible to develop other groundwater sources.
4. If a central water supply system is provided by the *applicant*, location and protection of the source, design, construction and operation of the distribution system and appurtenances and treatment facilities shall conform to the recommendations included in the "Manual for Evaluation of Public Drinking Water Supplies", Public Health Service No. 1180 (1969).

Answer 3G: Approval submitted in application to drill a secondary well, this is in addition to our existing well which produces 2880 GPD which is more than our design flow for all septic fields. This well will service up to 24 campsites in year 1.

H. Sewage Disposal

A sanitary sewer system shall be installed at the expense of the applicant or if in the opinion of the Board, service by the sanitary sewer system is not feasible, the Board may allow individual septic tanks to be used, which shall be *designed, installed, and certified by a licensed engineer* at the expense of the applicant on lots containing structures erected by the applicant. In no instance shall a septic disposal system be allowed in soils rated poor or very poor for such purpose by the Soil Suitability Guide for Land Use Planning in Maine or on lots below the minimum size shown for particular soil types in Appendix 1 of the "State of Maine Plumbing Code, Part II, Private Sewage Disposal Regulations", as amended.

Answer 3H: See soil scientists report, Bathhouse A, Bathhouse B, and Privies.

I - Height Restrictions. No structures will exceed 30 feet.

J. Multi-Family and Lodging Units

Multi-family and motels/hotels may be constructed and/or installed on parcels of land consisting of the aggregate of one half acre per individual lodging unit and/or dwelling unit, provided that such construction and/or installation shall fully comply with the setback requirements of this subsection and the provisions of the Town's ordinances, and further provided that the first lodging or dwelling unit shall be on a parcel consisting of at least two acres. By way of example, a three unit structure would require a lot of at least three acres. Setback from a public road shall be a minimum of fifty (50) feet.

Commercial activities serving or open to persons other than persons occupying the lodging unit, which are constructed or included as part of the lodging units shall require a minimum of one acre of additional land for each separate commercial activity.

Answer 3J: Not Applicable