

FOR OFFICE USE ONLY
 PERMIT NO.
 ISSUE DATE:
 FEE AMOUNT:

TOWN OF SEDGWICK, MAINE
 SITE PLAN REVIEW PERMIT APPLICATION

GENERAL INFORMATION

1. APPLICANT CALEB SCOTT		2. APPLICANT ADDRESS 17 GREENHEAD LN. STONINGTON ME. 04661		3. APPLICANT TEL # 207-469-5990	
4. PROPERTY OWNER HIDEOUT HOOGE ACADIA LLC		5. OWNER'S ADDRESS ↑		6. OWNER'S TEL # ↑	
7. CONTRACTOR		8. CONTRACTOR'S ADDRESS		9. CONTRACTOR'S TEL #	
10. LOCATION ADDRESS OF PROPERTY 232 CATERPILLAR HILL RD SEDGWICK, ME. 04676		11. TAX MAP PAGE & LOT # MAP 2 LOT 35		12. ZONING DISTRICT	
13. DESCRIPTION OF PROPERTY INCLUDING A DESCRIPTION OF ALL PROPOSED CONSTRUCTION (E.G. LAND CLEARING, ROAD BUILDING, SEWER SYSTEMS, ETC.) WITHIN. PLEASE NOTE THAT A SITE PLAN SKETCH IS REQUIRED ON PAGE 4. <p style="text-align: center;">SEE ATTACHED FERNCREST ACADIA CAMPGROUND SITE PLAN - PAGE 4</p>					
14. INFORMATION OF PROJECT CAMPGROUND		15. ESTIMATED COST OF CONSTRUCTION \$ 800,000			

- 2 -

TOWN OF SEDGWICK, MAINE

SITE PLAN REVIEW PERMIT APPLICATION

PROPERTY INFORMATION

16. LOT AREA 17.76 ACRES	17. FRONTAGE ON ROAD (FT) 641
18. 50 FT. OF LOT TO BE COVERED BY NON-VEGETATED SURFACES	19. ELEVATION ABOVE 100 YR. FLOOD N/A
20. FRONTAGE ON WATERBODY (FT) —	21. HEIGHT OF PROPOSED STRUCTURE(S) UP TO 15'
22. EXISTING USE OF PROPERTY MINI GOLF / TAKE-OUT	23. PROPOSED USE OF PROPERTY CAMPGROUND
24. LANDSCAPING CHANGES TO OCCUR SEE ATTACHED	25. STORM WATER MANAGEMENT PLAN NO
26. SET BACK FROM PROPERTY LINES (FT) SEE ATTACHED SITE PLAN	27. IS THIS NOW OR HAS IT BEEN A HISTORIC SITE? NO
28. WILL SCENIC AREAS BE EFFECTED NO	29. WILL THERE BE STORAGE AREAS LOCATED ON THE PROPERTY? NO
30. WILL THERE BE ADDITIONAL EXTERIOR LIGHTING? NO	31. WILL THERE BE NEW OR ADDITIONAL ADVERTISING SIGNS? YES
32. IS THERE ADEQUATE VEHICLE ACCESS AND PARKING? YES -	33. ARE THERE PROVISIONS FOR EMERGENCY VEHICLE ACCESS? YES
34. WILL EXISTING SURFACE DRAINAGE BE IMPROVED OR ALTERED? YES	35. IS THERE A SOIL EROSION PLAN? NO
36. WILL FEDERAL & STATE REGULATIONS ON AIR QUALITY BE INVOLVED? NO	37. IS SUFFICIENT WATER SUPPLY AVAILABLE? YES SEE PGS 35-36
38. WILL A NEW SEWAGE DISPOSAL SYSTEM BE REQUIRED? YES	39. WILL INDUSTRIAL ACTIVITY BE INVOLVED? NO
40. WILL THERE BE MORE THAN ONE COMMERCIAL ACTIVITY INVOLVED? YES CAMPGROUND + MINI GOLF	

SITE PLAN

PLEASE INCLUDE LOT LINES, AREA TO BE CLEARED OF TREES AND OTHER VEGETATION, THE EXACT POSITION OF PROPOSED STRUCTURES INCLUDING DECKS, PORCHES, AND OUTBUILDINGS WITH ACCURATE SETBACK DISTANCES FROM THE SHORTLINE, SIDE AND REAR PROPERTY LINES, THE LOCATION OF PROPOSED WELLS, SEPTIC SYSTEMS, AND DRIVEWAYS, AND AREAS AND AMOUNTS TO BE FILLED OR GRADED. IF THE PROPOSAL IS FOR THE EXPANSION OF AN EXISTING STRUCTURE, PLEASE DISTINGUISH BETWEEN THE EXISTING STRUCTURE AND THE PROPOSED EXPANSION.

NOTE: FOR ALL PROJECTS INVOLVING FILLING, GRADING, OR OTHER SOIL DISTURBANCE YOU MUST PROVIDE A SOIL EROSION CONTROL PLAN DESCRIBING THE MEASURES TO BE TAKEN TO STABILIZE DISTURBED AREAS BEFORE, DURING AND AFTER CONSTRUCTION (see attached guidelines)

SEE ATTACHED FERNCREST
ACADIA SITE PLAN - PAGE 4

SCALE 1" = 100' L

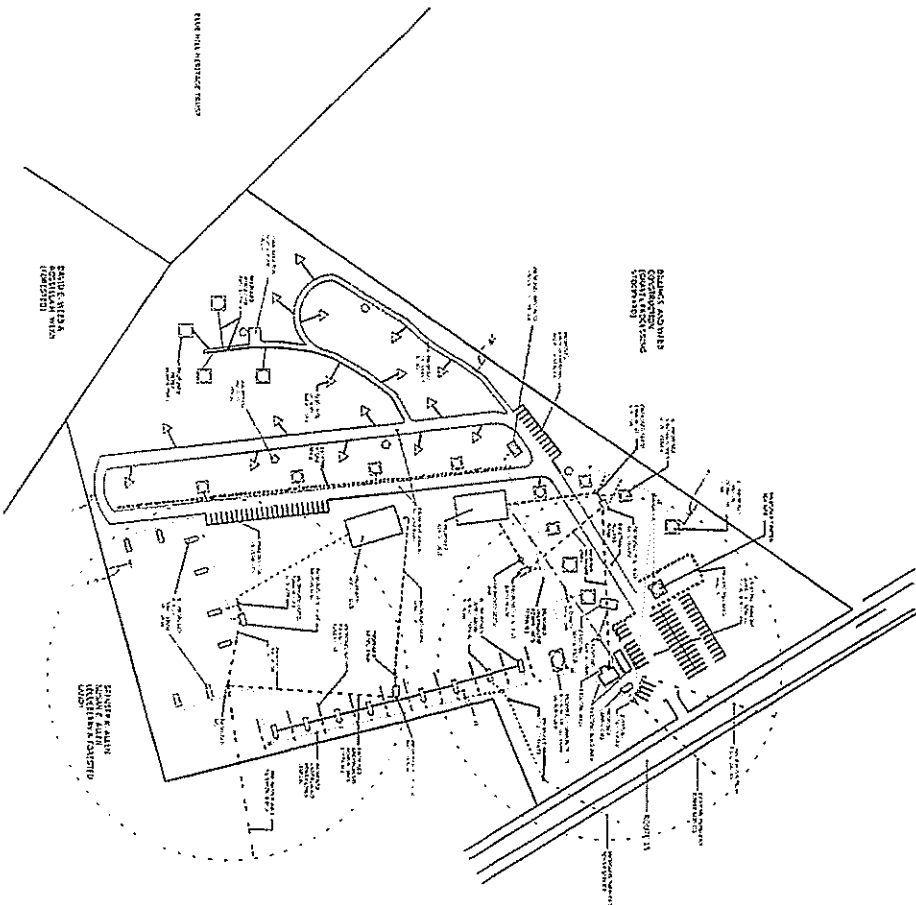
232 CATERPILLAR HILL ROAD
SEDGWICK, MAINE 04676

LEGEND

- [illegible]

NOTE

- YEAR ONE (1):
1. 4-5 MONTH RECORDING
 2. 6-7 MONTH RECORDING
 3. 8-9 MONTH RECORDING
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4

FRONT OR REAR ELEVATION

SEE ATTACHED:

- ADDITIONAL FERNCREST STRUCTURES PAGE 18 + 19
- FERNCREST STORE EXTERIOR + INT. PAGE 23
- FERNCREST BATH HOUSE EXTERIOR
- " " " PLAN/ELEV. PAGE 22
- " " CAMP CABINS PAGE 20
- WOOD-FIRED SAUNA } PAGE 23 a
- WOOD-FIRED HOT TUB }

SIDE ELEVATION

DRAW A SIMPLE SKETCH SHOWING BOTH THE EXISTING
AND PROPOSED STRUCTURES WITH DIMENSIONS

ADDITIONAL PERMITS, APPROVALS, AND/OR REVIEWS REQUIRED

CHECK IF REQUIRED

PLANNING BOARD REVIEW APPROVAL
(e.g. Subdivision, Site Plan Review)✓ SITE PLAN REVIEW

BOARD OF APPEALS REVIEW APPROVAL

FLOOD HAZARD DEVELOPMENT PERMIT

EXTERIOR PLUMBING PERMIT
(Approved THB 200 Application Form)

INTERIOR PLUMBING PERMIT

DEP PERMIT (Site Location,
Natural Resources Protection Act)ARMY CORPS OF ENGINEERS PERMIT
(e.g. Sec. 404 of Clean Waters Act)

OTHERS:

BUILDING NOTIFICATION FORM (Over 75sqft)

STAGE OF MAINE LICENSE APPLICATION
FOR CAMP GROUND + EVENT ~~SEE~~ CAMPING

NOTE: APPLICANT IS ADVISED TO CONSULT WITH THE CODE ENFORCEMENT OFFICER
 AND APPROPRIATE STATE AND FEDERAL AGENCIES TO DETERMINE WHETHER
 ADDITIONAL PERMITS, APPROVALS AND REVIEWS ARE REQUIRED

I CERTIFY THAT ALL INFORMATION GIVEN IN THIS APPLICATION IS ACCURATE. ALL
 PROPOSED USES SHALL BE IN CONFORMANCE WITH THIS APPLICATION AND
 THE TOWN OF SEDGWICK, MAINE SAT PREVIOUS ZONING ORDINANCE.
 I AGREE TO FUTURE INSPECTIONS BY THE CODE ENFORCEMENT OFFICER AT
 PEASNOBLE HOURS.

APPLICANT SIGNATURE

DATE

SIGNATURE OF TOWN CLERK

DATE

Town of Sedgwick -Site Plan Review
Applicant Check list.

The Planning Board has provided this check list to aid in fairly evaluating your proposed project.

It is the goal of the planning board to completely, fairly and openly investigate any and all possible ramifications of your development on the landscape, the community and the environment of the Town of Sedgwick

Your attention to detail as you fully and accurately complete this checklist will enable us to quickly determine how your project conforms to the site plan review ordinance.

The planning Board, and the code enforcement officer are available to aid and assist you as you navigate this process.

Please submit your proposal to The Board that includes all of the following information:

☒ 1) Map:

A site plan map to include the following information:

☒ A) Applicant information

- ☒ Name and address of applicant or authorized agent
- ☒ Name of proposed development (for reference purposes)

- ☒ Description and location of all proposed structures, buildings or improvements

- ☒ Identification of any land within 500 feet of the proposed development in which the applicant has title or interest

☒ B) Soil conditions

Existing soil conditions as described either by a soils scientist, geologist, engineer, or SCS medium intensity soils survey (This information may be available by contacting the Hancock County Soil Management District)

☒ C) Tax maps & lot numbers

Copies of municipal tax maps and lot numbers (Available from the Town of Sedgwick office) with names of all owners, including those of abutting landowners

☒ D) Survey

Most recent perimeter (boundary) survey of the parcel prepared and certified by a registered land surveyor, listing reference points, true or magnetic north, scale, corner of parcel, date of survey and total acreage.

☒ E) Utilities & easements

For proposed development and areas within 200 feet of the proposed development, show existing and proposed locations and dimensions of:

- ☒ Utility lines
- ☒ Sewer/septic lines
- ☒ Wells/water lines
- ☐ Easements/public and private rights-of-way
- ☐ Drainage ways / wetlands
- ☐ Other critical points of interest

SEE A FERNCREST ACADIA
SITE PLAN - PAGE 3 & 4
PAGE 1

PAGES 17-24
~~20-24~~

SEE ATTACHED EXISTING SEPTIC

~~PAGES 11-14~~
PAGES 10-13

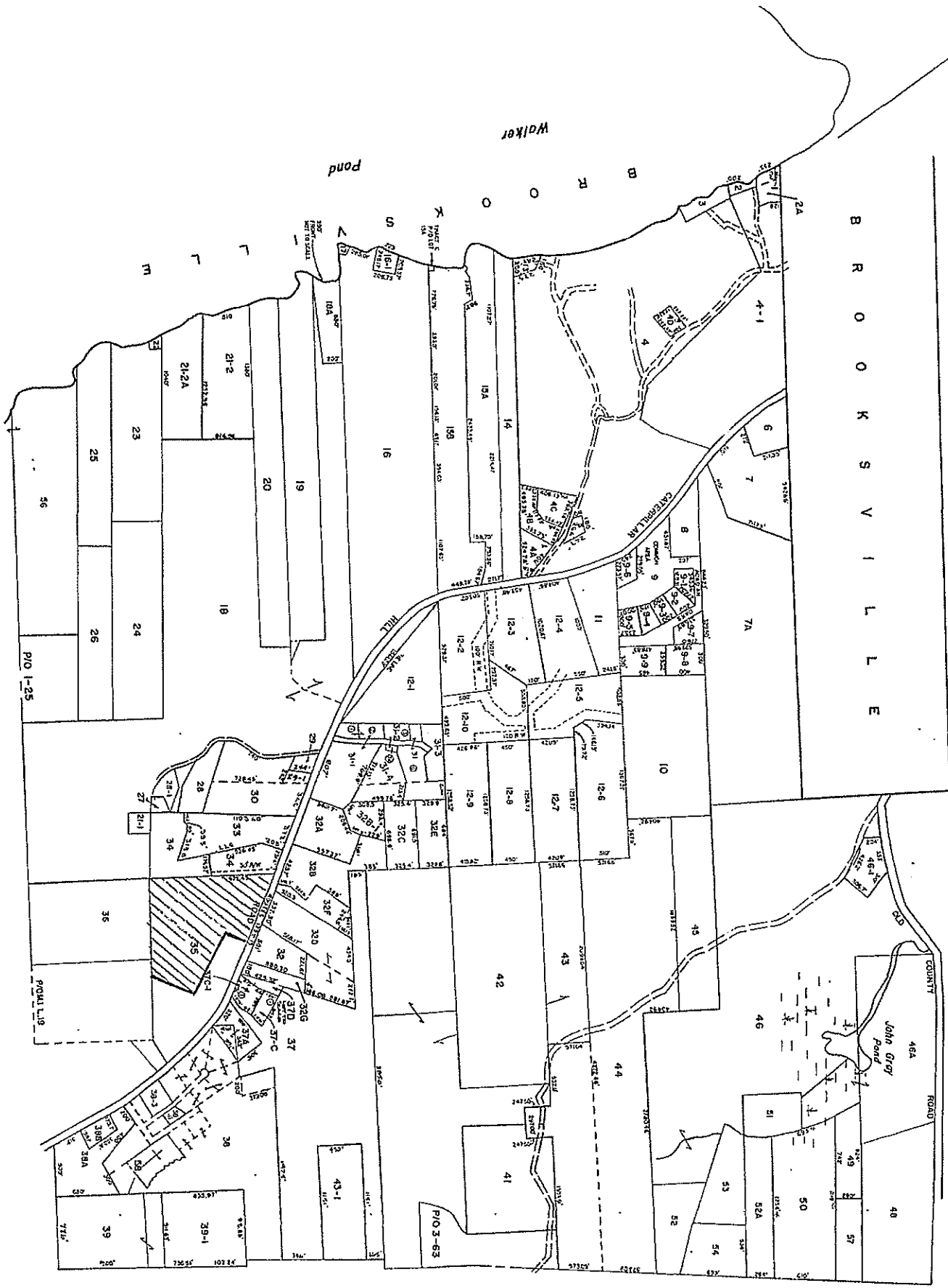
PAGE 8

PAGE 9

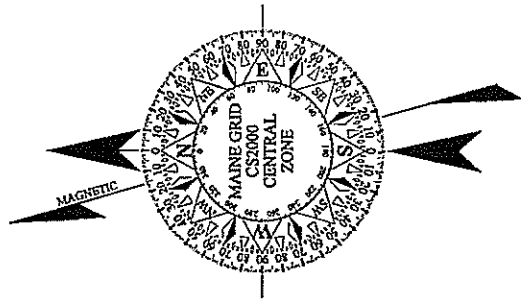
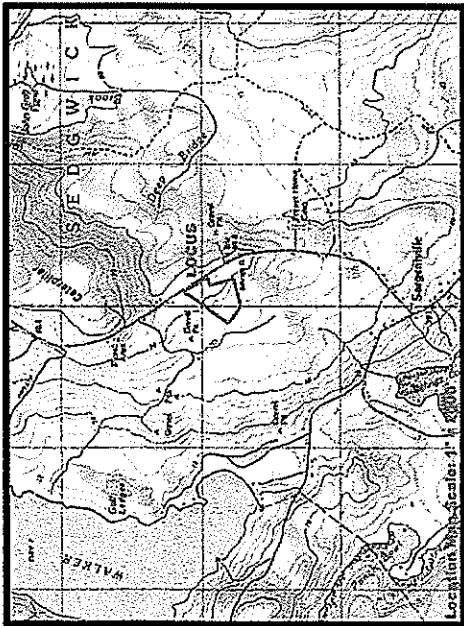
SEE A FERNCREST ACADIA SITE PLAN
PAGE 3

LEGEND
 PARCEL NUMBERS 1
 ADJACENT MAPS 2
 MATCH LINE

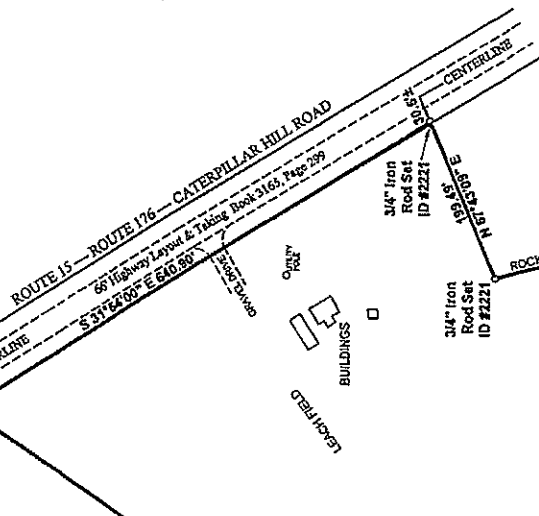
For Assignment Purposes
 See the adjacent map



PROPERTY MAP
 SEDGWICK
 HANCOCK COUNTY, MAINE
 JAMES W. SEWALL COMPANY
 PREPARED BY OLD TOWN, MAINE
 SCALE: 1" = 400' ±



Land Of
BILLINGS & WEBB CONSTRUCTION
Book 3830, Page 229



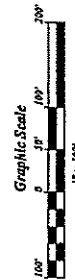
Remaining Land Of
SPENCER K. ALLEN
Book 2626, Page 118
SUSAN C. ALLEN
Book 2650, Page 502
SPENCER K. ALLEN
& SUSAN C. ALLEN
Book 2796, Page 661

Land Of
NATASHA M. ALLEN
Book 5951, Page 227
SPENCER K. ALLEN
Book 2626, Page 118
SUSAN C. ALLEN
Book 2650, Page 502
SPENCER K. ALLEN
& SUSAN C. ALLEN
Book 2796, Page 661
17.76± Acres

Land Of
BLUE HILL HERITAGE TRUST
Book 3222, Page 45

Land Of
DAVID E. WEBB
& ROZELLA M. WEBB
Book 1301, Page 471

Plan Of Boundary Survey For:
CALEB SCOTT
232 Caterpillar Hill Road
Hancock County
Sedgwick, Maine
September 27, 2024
Scale: 1" = 100'



This survey conforms to the Maine
Board of Licensure for Professional
Land Surveyors Technical Standards
of Practice.

Richard I. Bowden, Professional Land Surveyor
PO Box 471
Blue Hill, Maine 04614
Phone (207) 374-3716
e-mail: Richard@Allen-Bowden.com

Town of Seagovick - Site Plan Review

Applicant Check List:

✓ F) Existing structures

Location of all existing buildings or structures located on the proposed development site and on parcels abutting the site

SEE FERNCRANT ACADIA SITE PLAN
PAGE 3 & 4

✓ G) Soils report

if the site is not to be served by a public sewer line, an on-site soils investigation report by a licensed soils evaluator is required. The report shall contain the types of soils, location of test pits and proposed location of the best practical sub-surface disposal system for the site

SEE ATTACHMENTS

BATH HOUSE A
" " B
PRIVIES A-E

✓ H) Pedestrian & vehicular access

Location and dimensions of on-site pedestrian and vehicular access ways, parking and loading areas, curbs and sidewalk lines

SEE FERNCRANT ACADIA SITE
PLAN
PAGE 3 & 4

✓ I) Landscape plan showing location, type and approximate size of plantings and location, description and dimensions of all fencing and screening. All signage and exterior lighting to be detailed and described

PAGES
20-21

✓ J) Dark Skies plan. The applicant shall adopt and implement the recommended recommendations as described in the Technical Assistance Bulletin provided by the Maine State Planning Office

<https://www.maine.gov/dacf/municipalplanning/docs/lightingmanual.pdf>

✓ K) Site topography

Topographic contours at intervals of either 15' or 10' in elevation, as specified by the Planning Board

PAGE 1 & 11

L) Site aquifers

Location of aquifers and aquifer recharge areas (if mapped)

M) Additional information

Any additional information that may help to describe the proposed development



11 PLEASE NOTE:
PAGES 12-15 DO NOT
EXIST

Town of Sedgwick -Site Plan Review

(1) Applicant Check list:

2) Project description & statement from the applicant:

A written statement by the applicant including the following information:

- ☒ Evidence of title and interest in the land for which the application addresses
- ☒ A description of the proposed uses (developments) to be located on the site, including quantity and type of residential units, if any
- ☒ Gross floor area and ground coverage of each proposed building/structure and percentage of lot area to be covered by each building/structure as well as total area of lot to be covered by buildings/structures
- ☐ Summary of existing & proposed easements, restrictions, liens and covenants affecting the property
- ☒ Method of solid waste disposal
- ☐ Erosion & sediment control plan
- ☒ Copies of certified letters (including delivery receipts) to:
 - ☒ All abutting landowners
 - ☐ Select board
 - ☐ Tax collector
 - ☐ Town clerk
 - ☐ Fire chief
 - ☐ Road commissioner (if applicable)notifying them of the proposed development
- ☐ A statement from the Fire Chief as to the availability and adequacy of fire hydrants and/or fire ponds, or provision of fire protective services
- ☐ If public water/sewer systems are to be used, a statement from the water/sewer district or utility as to the availability of water/sewer lines
- ☒ An estimate of the date when construction will begin, and when the development will be completed
- ☐ A recommendation from the Town engineer, Road commissioner, or Select board on the proposed design & layout (as needed)
- ☒ A comprehensive list of all County, State and Federal agencies and offices that require applications and/or permits for the proposed project
- ☐ A timeline for submission of applications, and copies of any applications previously submitted or permits granted by offices/agencies listed above. Include points of contact for listed offices/agencies

PAGES 26-29

PAGE 17

PAGE 25

PAGES 30-34

PAGE 25

PAGE 6

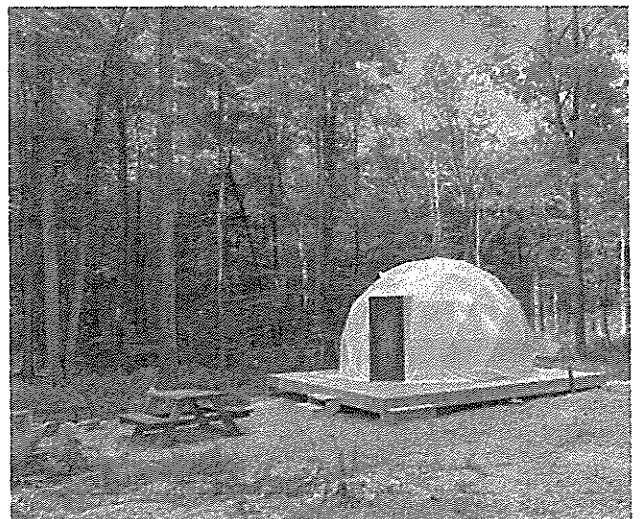
April 28, 2025
Ferncrest Acadia
Site Plan Review Applicant Check list:
Project description & statement from the Applicant

- Warranty Deed DLN# 2116429 (attached).
- Proposed campground with a total of 48 campsites – See Ferncrest Acadia Site Plan for a detailed description of entire site. It is broken down into Year 1 & Year 2.

Summary: There will be a total of 16 tent campsites in clusters of four campsites located within six acres of forest with wood chip pads and paths. Each cluster will be provided a Pit Privy designed and installed according to Department of Health and Human Services Subsurface Wastewater Disposal Rules. There will be 16 sites with a mix of 8x 5 meter geodesic domes and 8x 7 meter geodomes on pressure treated decks, 16x - 8' x 22' camp cabins on gravel pads, a 6 x 9 meter "community center" oval dome on a pressure treated deck, a 5 x 7 meter "wellness center" oval dome on a pressure treated deck, an 8' x 20' camp store, 4x 9'-6" x 20' bathhouses. There is an existing 13' x 40' building which currently houses two bathrooms. There is also an existing building on a concrete slab approximately 20' x 24' with a commercial kitchen and a single bathroom which will be used as a camp/mini golf office. The existing commercial kitchen facility is not part of this proposal.

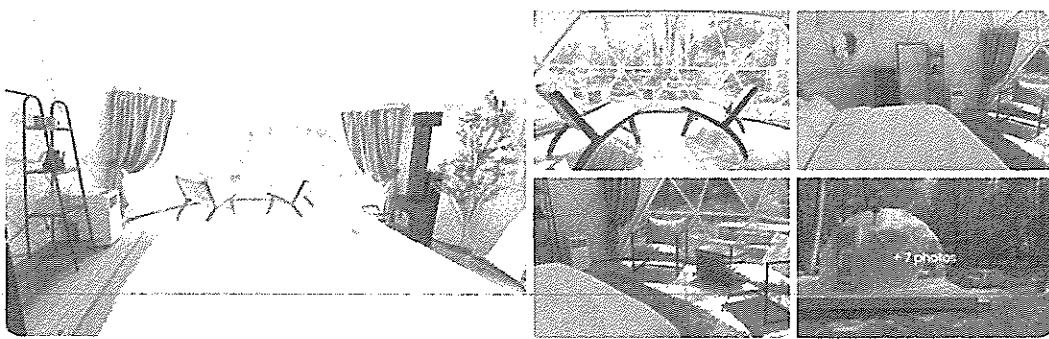
Detail: 16x tent campsites - Located in the woods with a nearby pit privy within 300 feet of the campsites. Please note no RVs will be allowed. We may allow smaller campervans (Sprinter/Ram Promaster/Transit) but will primarily host traditional tent campers who bring their own gear. These campsites will not have direct water/electricity at their campsite. (Maximum 5x people)

*Please see supporting documentation on "Average" occupancy per campsite from Four Acre Woods Campground. (2.46 campers per site). Each campsite will have its own locally sourced six-foot picnic table and firepit.



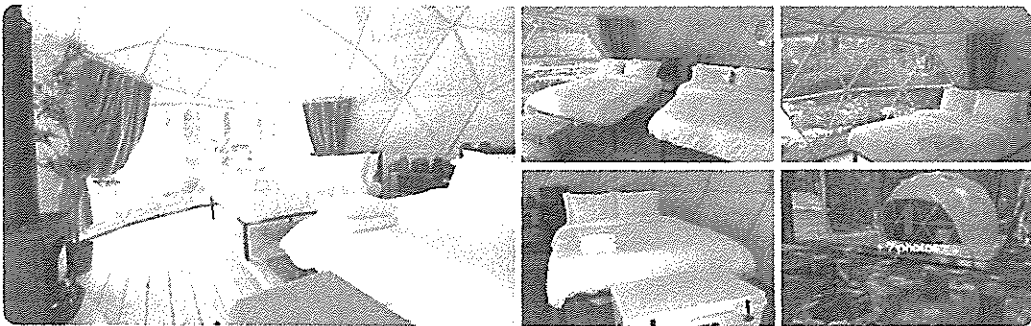
5-meter geodesic domes: These geodomes will be a light tan color with a green door to blend in with the natural surroundings of the woods. These domes will have two potential layouts which include 1x king bed or 2x full beds.

*Please see supporting documentation on "Average" occupancy per campsite from Four Acre Woods Campground. (2.18 campers per site)



King Bed Dome w/ Hot Tub

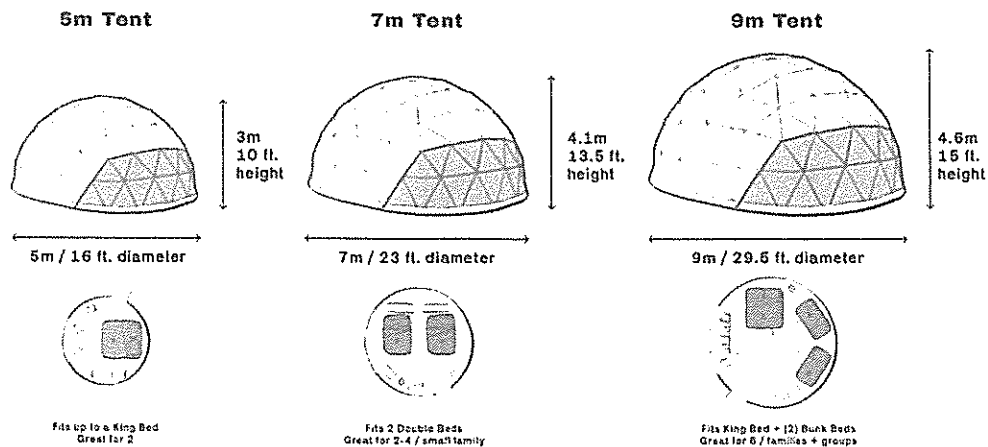
Accommodates 2



Double Beds Dome w/ Hot Tub

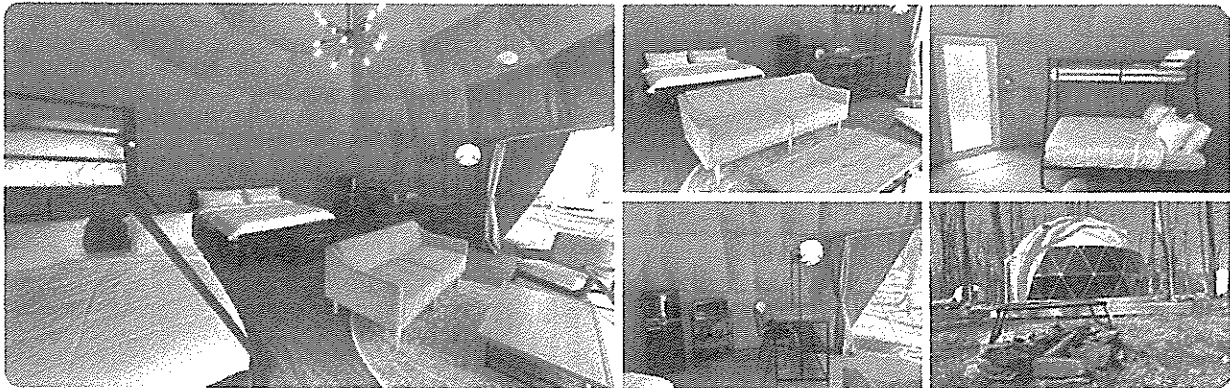
Accommodates 4

Dome Tents Sizing



Finnest

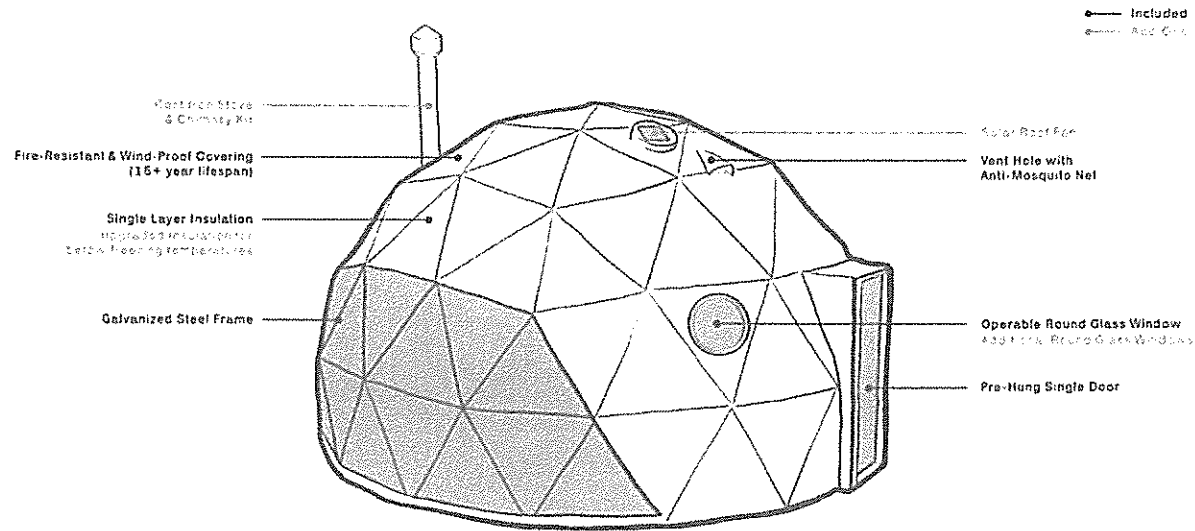
7-meter geodesic domes: These geodomes will be a light tan color with a green door to blend in with the natural surroundings of the woods. These family domes will have three potential layouts which include 1x king bed, 1x full bed, 1x twin bed, 1x pull out sofa OR 1x king bed with a double bunk bed to host a maximum of 6x people. The alternative configuration is 2x Queen Beds with a four-person max.



Family Dome Suite

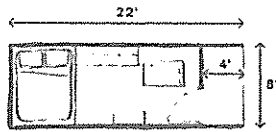
Accommodates 6

Dome Tents Anatomy



Faircrest

Cabins



Specs

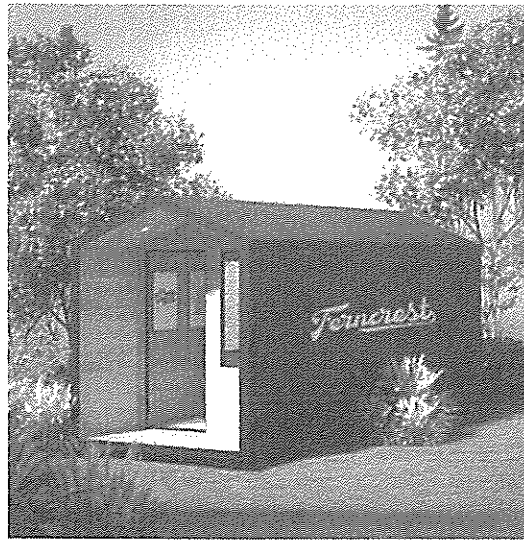
8' x 22' w/ 4' Porch
 Fits Queen Bed
 Kitchenette Counters & Shelves
 Built-In Stowaway Table w/ Seating Area

Arrives turnkey
 Just plug into a 30amp RV plug

Finishes

Envelope:
 • LP SmartSide Board & Batten Siding
 • Spray Foam Insulation
 • Standing Seam Metal Roof
 • Steel Doors
 • Multi-zone Mini Split

Interior Finishes:
 • Sealed T&G Pine Boards
 • LVP Flooring
 • Treated Pine Cabinetry

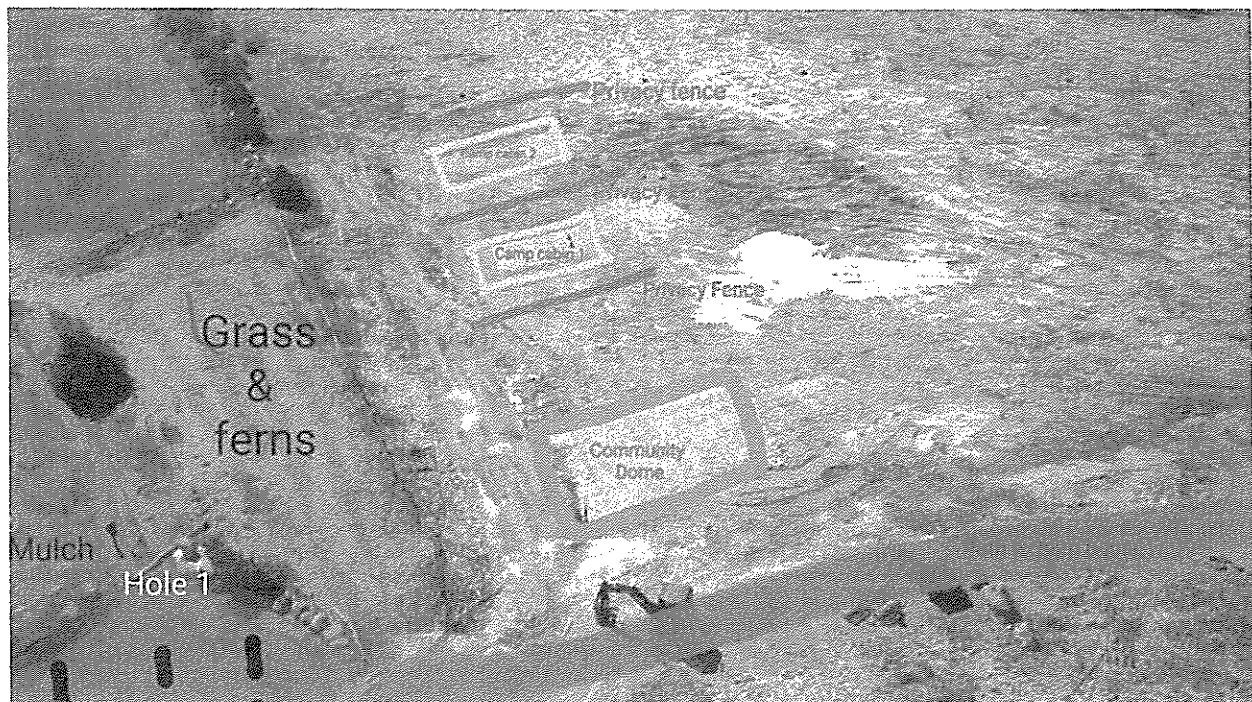


Ferncrest

Mini Golf Area & General Landscaping: Tailored Properties Is contracted to complete all the landscaping at Ferncrest Acadia. We plan to bring back 12 holes of mini golf which will be open to the public and our campers!



The plant selection will be based on the very hot and dry area, the barren soil and the shallow ledge. I will work in different tiers, a tall one for shade, a medium level that provides privacy and a shorter level for shrubs and tall grasses as fillers. Various spruce and fir may do well even with the shallow ledge to get the height in there, as I imagine some birch trees to do too. The medium layer could be bayberry, sumac, some viburnum, and rhododendron. Shorter shrubbier plants could include rugosa rose, sweet fern, and beach plum, and ferns.

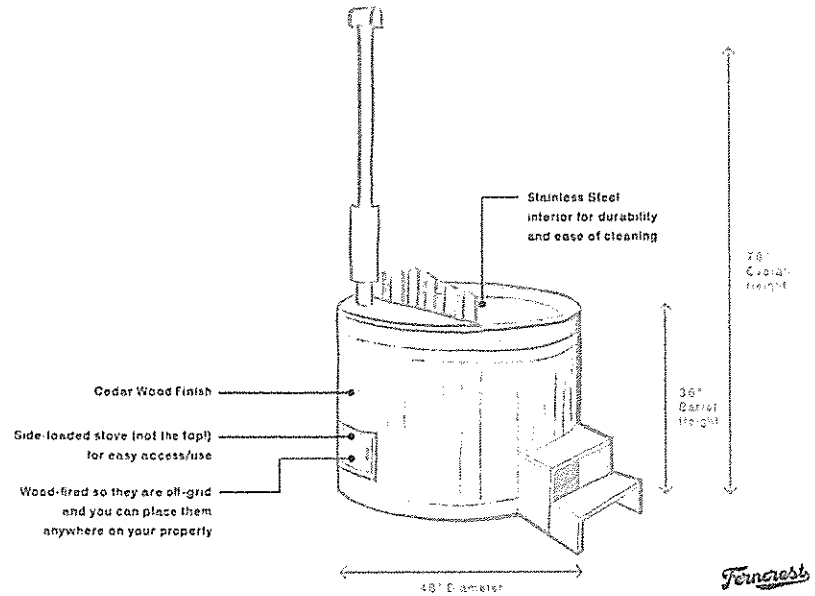


Ultimate Wood-Fired Hot Tub

The Hot Tub that pays for itself

Offering a private hot tub along with your lodging unit is an excellent way to boost your average daily rate (an additional \$60-\$100+ night) and sway a guest over another property.

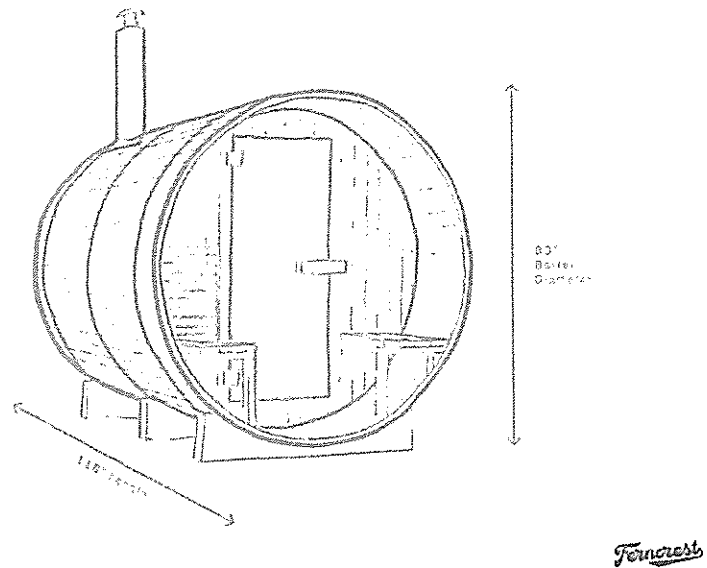
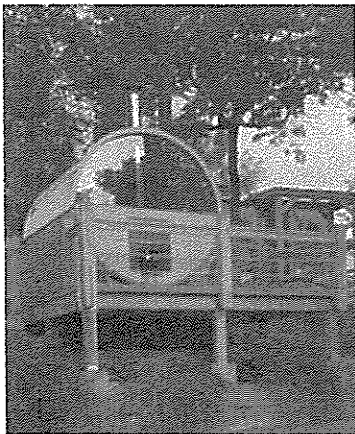
We have specifically designed our hot tubs for hospitably use after experiencing other hot tubs.

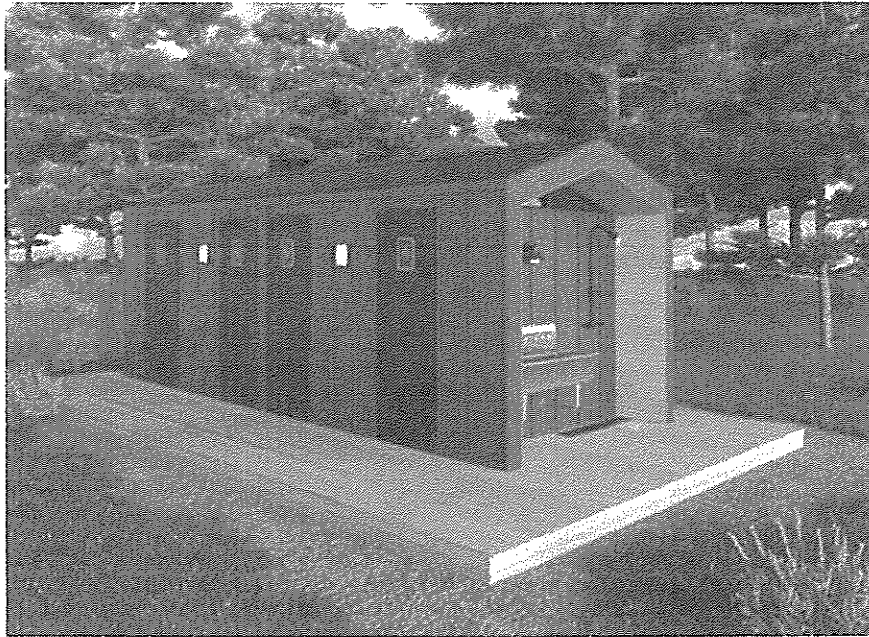


Ultimate Wood-Fired Sauna

Saunas are a great communal amenity that can be shared at a campground and either be provided for free use or as an add on (i.e. sell a 30 min time slot). Saunas don't require water to be changed so make for a sanitary communal amenity that people love.

Capacity: 6 people
Material: Scandinavian Thermowood





Large

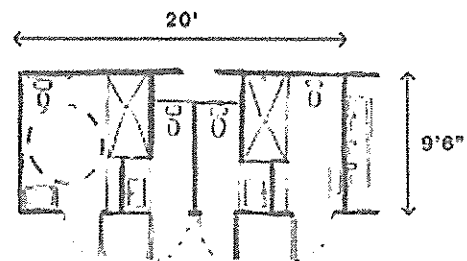
9'-6" x 20'

(2) Showers

(4) Toilets

Covered Exterior Sink + Shower

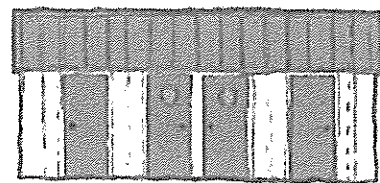
ADA Compliant



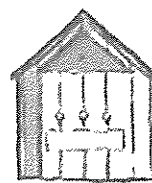
L - Floor Plan



L - Ext. Alternative



L - South Elevation

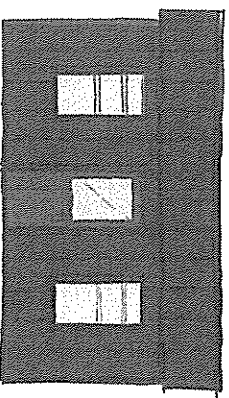
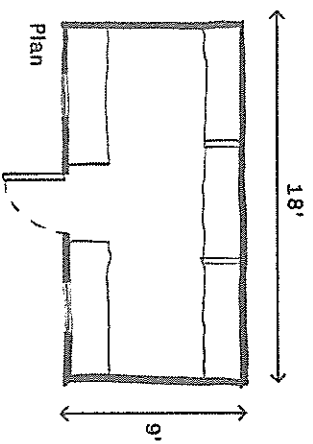


L - East Elev.
(Sink Only)



L - East Elev.
(Sink + Shower)

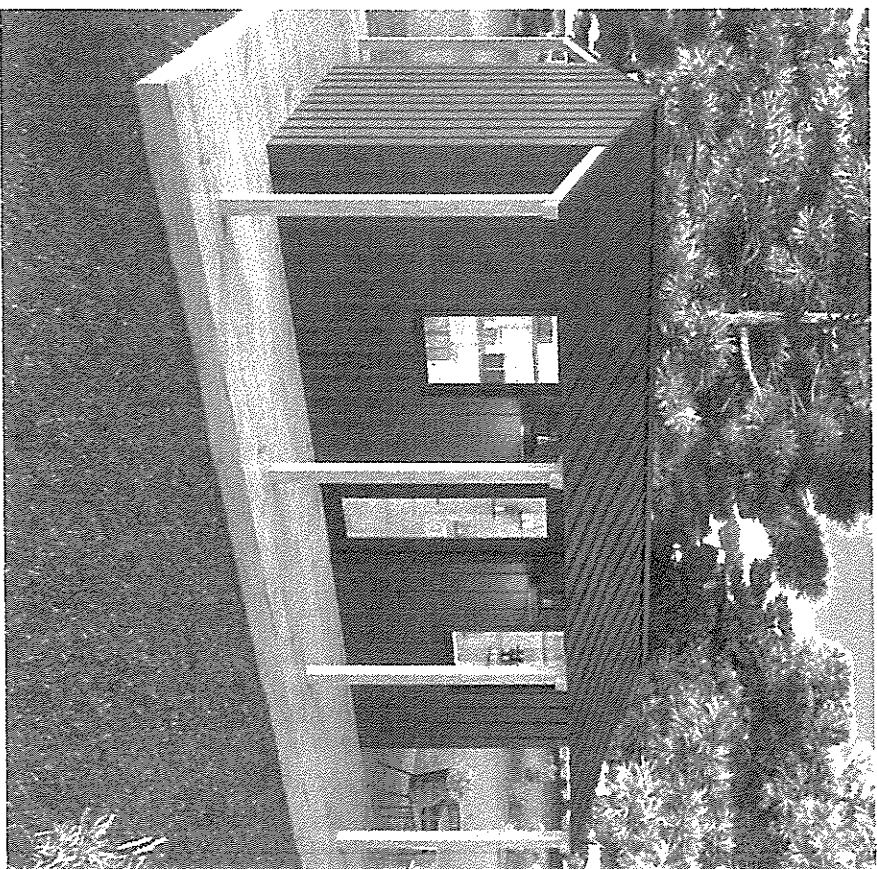
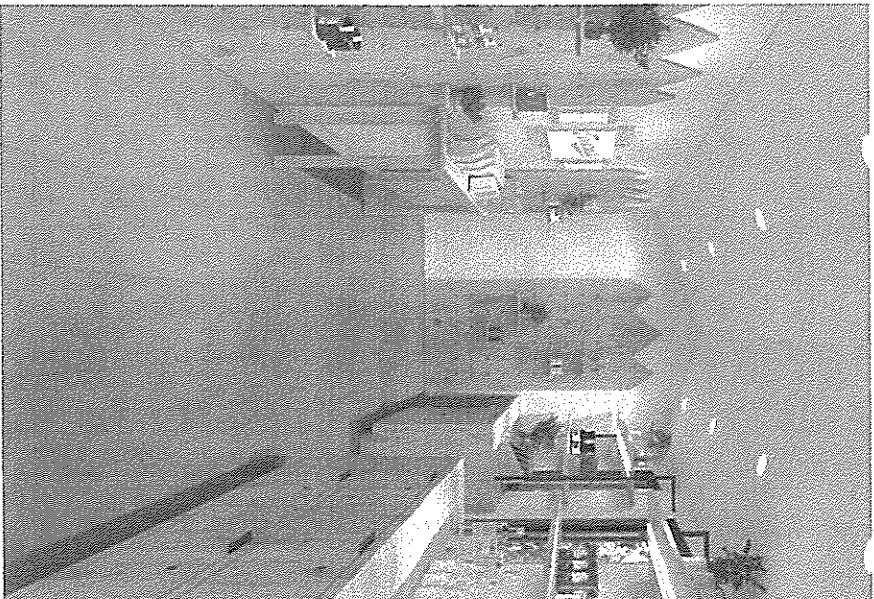
Pre-Fab General Store



Specs

9' x 18'

Arrives turnkey
Just plug into a 30amp RV plug



Forecrest

- Gross ground coverage of existing/proposed buildings and other structures:

8 – Pressure treated pads 20' x 20'	= 3,200 Sq Ft	= .4%
8 – Pressure treated pads 24' x 24'	= 4,608 Sq Ft	= .6%
16 – 8' x 22' camp cabins	= 2,816 Sq Ft	= .36%
1 – Community center	= 840 Sq Ft	= .1%
1 – Wellness Center	= 336 Sq Ft	= .04%
4 – Bath houses	= 760 Sq Ft	= .1%
1 – Camp store	= 160 Sq Ft	= .02%
1 – Existing buildings	= 1,000 Sq Ft	= .1%
2 – Septic Fields	= 8,000 Sq Ft.	= 1%
88 – Parking spaces	= 15,840 Sq Ft.	= 2%
Access roads	= 39,200 Sq Ft	= 5%

Total areas	76,760 Sq Ft. = 9.72%
--------------------	------------------------------

- There are no existing or proposed easements, restrictions, liens and covenants affecting the property.
- There is an existing sub-surface waste disposal system with a flow rate of 270 GPD serving existing 20' x 24' and 13' x 40' buildings. Pending a hydrogeologic assessment by a Maine Certified Geologist, this system will either be retained or abandoned. If abandoned, the outflow of the existing bathrooms in the above buildings will be connected to one of the proposed new septic system leach fields. A total of 5 Pit Privies are to be installed per a State Licensed Site Evaluator, one for each cluster of 4 tent campsites as shown on the Ferncrest Acadia Site Plan.
- No erosion & sediment control plan at this time.
- Copies of certified letters and delivery receipts are attached for all abutting landowners.
- A statement from the Fire Chief will be requested. Fire Chief has walked the site.
- No public water/sewer system is to be used.
- Construction will begin as soon as permits are issued. Mid May 2025 is the anticipated date.
- Recommendation from the Town engineer, Road commissioner or Select board is expected during the review process.
- A State of Maine License Application for a Campground & Event Camping and a Transient Public Water System Application for a New System or New Well for the proposed campground is in progress.

BK: OR 7359 PAGE: 243 # OF PGS: 4
12/03/2024 03:06:49 PM Inst # 2024015292
JULIE A. CURTIS, REGISTER OF DEEDS
HANCOCK COUNTY MAINE
MAINE REAL ESTATE TRANSFER TAX PAID
eRecorded Document

WARRANTY DEED

DLN#: 2116429

SPENCER K. ALLEN and SUSAN C. ALLEN, husband and wife, both having a mailing address of 28 Bagaduce Road, Brooksville, Maine 04617 and NATASHA M. ALLEN, having a mailing address of 28A Bagaduce Road, Brooksville, Maine 04617, for consideration paid, GRANT to HIDEOUT HOUSE ACADIA LLC, a Maine limited liability company, having a mailing address of 13 Greenhead Lane, Stonington, Maine 04681, with WARRANTY COVENANTS, a certain lot or parcel of land, together with the buildings and improvements thereon, situated in Sedgwick, Hancock County, Maine, bounded and described as follows:

Beginning at a 3/4 inch iron rod with surveyor's ID #2097 near the southwesterly sideline of Caterpillar Hill Road also known as Route 15 and further also known as Route 176, said rod at the southeasterly line of land conveyed in a deed from George Gray personal representative of the estate of Homer W. Gray to Billings & Webb Construction, Inc. dated January 16, 2004 and recorded in Book 3830, Page 229 at Hancock County Registry of Deeds, and also being at the northwesterly line of land conveyed in a deed from Spencer K. Allen and Susan C. Allen to Natasha M. Allen dated November 28, 2012 and recorded in Book 5951, Page 227 at said Registry;

thence South thirty-one degrees fifty-four seconds East (S. 31° 54' 00" E.) generally by and along the southwesterly sideline of said Caterpillar Hill Road six hundred forty and ninety hundredths (640.90) feet to a 3/4 inch iron rod with surveyor's ID #2221;

thence South sixty-seven degrees forty-three minutes nine seconds West (S. 67° 43' 09" W.) by and along a remaining portion of land conveyed in a deed from Spencer K. Allen and Susan C. Allen to Natasha M. Allen dated November 28, 2012 and recorded in Book 5951, Page 227 at said Registry one hundred ninety-nine and forty-nine hundredths (199.49) feet to a 3/4 inch iron rod with surveyor's ID #2221 set;

thence South fourteen degrees nine minutes ten seconds East (S. 14° 09' 10" E.) by and along said remaining land of Allen marked in part by a rock wall five hundred eighty-six and sixty-four hundredths (586.64) feet to a ¾ inch iron rod with surveyor's ID #2221 set near the end of a rock wall running generally easterly;

thence South seventy-five degrees zero minutes thirty-five seconds West (S. 75° 00' 35" W.) by and along said remaining land of Allen six hundred forty-four and seventeen hundredths (644.17) feet to ¾ inch iron rod with surveyor's ID #2221 set;

thence North fifty-six degrees twenty-three minutes thirty-one seconds West (N. 56° 23' 31" W.) by and along land conveyed in a deed from Stanton A. Waterman to David E. and Rozella M. Webb dated July 27, 1977 and recorded in Book 1301, Page 471 at said Registry three hundred twenty-two and forty-one hundredths (322.41) feet to a ¾ inch iron rod with surveyor's ID #2097;

thence North forty-four degrees thirty-six minutes thirty-seven seconds West (N. 44° 36' 37" W.) by and along land conveyed in a deed from Sarah Patten Gwynn and Emma Patten Casey to Blue Hill Heritage Trust dated December 24, 2001 and recorded in Book 3222, Page 45 at said Registry one hundred eighty-four and eighty-eight hundredths (184.88) feet to a ¾ inch iron rod with surveyor's ID #2097;

thence North thirty-four degrees forty minutes forty-five seconds East (N. 34° 40' 45" E.) by and along said land of Billings & Webb Construction one thousand two hundred seventy and eighty-eight hundredths (1270.88) feet to the point of beginning.

Containing seventeen and seventy-six hundredths (17.76) acres more or less.

Together with any land lying between the above described and the generally westerly sideline of said Caterpillar Hill Road.

Excepting any portion of land contained within the above described taken by the Maine Department of Transportation in a Notice of Layout and Taking dated October 3, 2001 and recorded in Book 3165, Page 299 at said Registry.

Bearings mentioned above are oriented to Maine State Grid CS2000 Central Zone.

The above description of land is taken from a boundary survey for Caleb Scott dated September 27, 2024 prepared by Richard I. Bowden, Maine Professional Land Surveyor #2221.


MEANING AND INTENDING TO CONVEY and hereby conveying a portion of the premises conveyed in the following deeds:

1. Deed from Wayne R. Allen to Susan C. Allen dated May 7, 1997, recorded at the Hancock County Registry of Deeds in Book 2650, Page 502;
2. Deed from Kermit P. Allen to Spencer K. Allen dated December 24, 1996, recorded at said Registry in Book 2626, Page 118;
3. Deed from Wayne R. Allen to Spencer K. Allen and Susan C. Allen, dated December 29, 1998, recorded at said Registry in Book 2796, Page 661, and;
4. Deed from Spencer K. Allen and Susan C. Allen to Natasha M. Allen, dated November 28, 2012, recorded at said Registry in Book 5951, Page 227.

WITNESS our hands and seals this 25 day of November, 2024.


Spencer K. Allen


Susan C. Allen



Natasha M. Allen

STATE OF MAINE
COUNTY OF HANCOCK

November 25, 2024

Then personally appeared the above-named SPENCER K. ALLEN and SUSAN C. ALLEN and acknowledged the foregoing instrument to be their free act and deed.

Before me,


Notary Public

Print name of Notary

My commission expires:


ELLEN S. BEST
Notary Public, State of Maine
My Commission Expires May 08, 2028

STATE OF MAINE
COUNTY OF HANCOCK

November 25, 2024

Then personally appeared the above-named NATASHA M. ALLEN and acknowledged the foregoing instrument to be her free act and deed.

Before me,


Notary Public

Print name of Notary

My commission expires:

ELLEN S. BEST
Notary Public, State of Maine
My Commission Expires May 08, 2028



ELLSWORTH
199 MAIN ST
ELLSWORTH, ME 04605-9998
(800)275-8777

03/28/2025 11:10 AM

Product	Qty	Unit Price	Price
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First-Class Mail® Letter	1		\$0.73
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Sedgwick, ME 04676
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 03

Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8931 60

Total \$9.68

First-Class Mail® Letter	1		\$0.73
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Sedgwick, ME 04676
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 10

Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8931 77

Total \$9.68

First-Class Mail® Letter	1		\$0.73
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South Portland, ME 04106
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 27

Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8931 84

Total \$9.68

First-Class Mail® Letter	1		\$0.73
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Deer Isle, ME 04627
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 34

Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 07

Total \$9.68

Portsmouth, RI 02871
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025

Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 41

Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8931 91

Total \$9.68

First-Class Mail® Letter	1		\$0.73
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Blue Hill, ME 04614
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 58

Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 90

Total \$9.68

First-Class Mail® Letter	1		\$0.73
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Blue Hill, ME 04614
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 65

Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 83

Total \$9.68

First-Class Mail® Letter	1		\$0.73
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Sedgwick, ME 04676
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 72

Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 76

Total \$9.68

First-Class Mail® Letter	1		\$0.73
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Isle Au Haut, ME 04645
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 89

Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 69

Total \$9.68

First-Class Mail® Letter	1		\$0.73
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Brooksville, ME 04617
Weight: 0 lb 0.60 oz
Estimated Delivery Date
Mon 03/31/2025
Certified Mail® \$4.85
Tracking #: 9589 0710 5270 2577 9503 96

Return Receipt \$4.10
Tracking #: 9590 9402 8924 4064 8932 52

Total \$9.68

Sedgwick, ME 04676
 Weight: 0 lb 0.60 oz
 Estimated Delivery Date
 Mon 03/31/2025
 Certified Mail® \$4.85
 Tracking #: 9589 0710 5270 2577 9504 02
 Return Receipt \$4.10
 Tracking #: 9590 9402 8924 4064 8932 45
 Total \$9.68
 First-Class Mail® 1 \$0.73
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 Brooksville, ME 04617
 Weight: 0 lb 0.60 oz
 Estimated Delivery Date
 Mon 03/31/2025
 Certified Mail® \$4.85
 Tracking #: 9589 0710 5270 2577 9504 19
 Return Receipt \$4.10
 Tracking #: 9590 9402 8924 4064 8932 38
 Total \$9.68
 First-Class Mail® 1 \$0.73
 Letter
 Little Deer Isle, ME 04650
 Weight: 0 lb 0.60 oz
 Estimated Delivery Date
 Mon 03/31/2025
 Certified Mail® \$4.85
 Tracking #: 9589 0710 5270 2577 9504 26
 Return Receipt \$4.10
 Tracking #: 9590 9402 8924 4064 8932 21
 Total \$9.68

 Grand Total: \$125.84

Debit Card Remit \$125.84
 Card Name: MasterCard
 Account #: XXXXXXXXXXXX3661
 Approval #: 7686BF
 Transaction #: 453
 Receipt #: 034126
 Debit Card Purchase: \$125.84
 AID: A0000000042203 Chip
 AL: Debit
 PIN: Verified

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For delivery information, visit our website at www.usps.com ™.	
T51P Au Hoult MF 04747	
Certified Mail Fee \$4.35	0605
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	Postmark Here MAR 28 2025
Total Postage and Fees \$5.12	03/28/2025
Sent To	
Street and Apt. No., or PO Box No.	
City, State, ZIP+4®	
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U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ™.	
Sedgwick MF 04671	
Certified Mail Fee \$4.35	0605
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	Postmark Here MAR 28 2025
Total Postage and Fees \$5.12	03/28/2025
Sent To	
Street and Apt. No., or PO Box No.	
City, State, ZIP+4®	
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U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ™.	
R11P Hill MF 04714	
Certified Mail Fee \$4.35	0605
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	Postmark Here MAR 28 2025
Total Postage and Fees \$5.12	03/28/2025
Sent To	
Street and Apt. No., or PO Box No.	
City, State, ZIP+4®	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

9589 0710 5270 2577 9504 26

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ™.	
L11P e Deep T51P MF 04747	
Certified Mail Fee \$4.35	0605
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	Postmark Here MAR 28 2025
Total Postage and Fees \$5.12	03/28/2025
Sent To	
Street and Apt. No., or PO Box No.	
City, State, ZIP+4®	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

9589 0710 5270 2577 9504 19

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ™.	
Brock 30111 MF 04714	
Certified Mail Fee \$4.35	0605
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
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<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	Postmark Here MAR 28 2025
Total Postage and Fees \$5.12	03/28/2025
Sent To	
Street and Apt. No., or PO Box No.	
City, State, ZIP+4®	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

9589 0710 5270 2577 9503 72

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ™.	
Sedgwick MF 04671	
Certified Mail Fee \$4.35	0605
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
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<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	Postmark Here MAR 28 2025
Total Postage and Fees \$5.12	03/28/2025
Sent To	
Street and Apt. No., or PO Box No.	
City, State, ZIP+4®	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

32

9589 0710 5270 2577 9503 27

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

South Portland, ME 04106

Certified Mail Fee \$4.35
 Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$11.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.77

Total Postage and Fees \$5.12

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

03/28/2025

Postmark
Here
MAR 28 2025

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 2577 9503 41

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Portsmouth, NJ 07807

Certified Mail Fee \$4.35
 Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$11.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.77

Total Postage and Fees \$5.12

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

03/28/2025

Postmark
Here
MAR 28 2025

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 2577 9503 10

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Dover, NJ 04537

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☐ Adult Signature Required \$0.00
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Postage \$0.77

Total Postage and Fees \$5.12

Sent To

Street and Apt. No., or PO Box No.

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MAR 28 2025

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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For delivery information, visit our website at www.usps.com®.

New Hill, NJ 04514

Certified Mail Fee \$4.35
 Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$11.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
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Postage \$0.77

Total Postage and Fees \$5.12

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U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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For delivery information, visit our website at www.usps.com®.

Sedgwick, NJ 04577

Certified Mail Fee \$4.35
 Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$11.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.77

Total Postage and Fees \$5.12

Sent To

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

03/28/2025

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PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

33

9589 0710 5270 2577 9503 96

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	
Certified Mail Fee \$4.75	Postmark MAR 28 2025
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$3.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.77	03/28/2025
Total Postage and Fees \$5.52	
Sent To Street and Apt. No., or PO Box No. City, State, ZIP+4®	

Janet T. Mills
Governor

Sara Gagné-Holmes
Commissioner



Maine Department of Health and Human Services
Maine Center for Disease Control and Prevention
11 State House Station
286 Water Street
Augusta, Maine 04333-0011
Tel; (207) 287-8016; Fax (207) 287-2887
TTY: Dial 711 (Maine Relay)

April 28, 2025

Caleb Scott
13 Green Head Lane
Stonington ME 04681

Subject: Preliminary Approval for New Public Well (Well HD 2) to serve Ferncrest Acadia Campground; PWSID #ME0092907

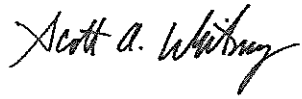
Mr. Scott:

I have received the application for this new public well: Well HD 2 to serve Ferncrest Acadia Campground, a transient, non-community public water system in Sedgwick Maine. The proposed public well location for Well HD 2 meets all minimum setback requirements of greater than 50 feet from Caterpillar Hill Road, greater than 200 feet from any perennial water body, greater than 300 feet from all septic leach fields and greater than 1000 feet from underground fuel tanks. Therefore, preliminary approval to for this new public well: Well HD 2 is granted with the following requirements:

- well casing: Minimum 20' of well casing is required. The well casing must extend a minimum of 18" above ground level for each well.
- Well Pump Test: A sufficient well pump test shall be done by a State of Maine licensed well driller/pump installer to properly develop this well, in accordance with Chapters 8 and 9 of the National Ground Water Association, Manual of Water Well Construction Practices, 2nd Edition, 1998. The proposed well must be shock chlorinated according to the enclosed guidance.
- Water Tests: Approval of a transient non-community public water supply requires satisfactory results for:
 1. Total coliform bacteria, nitrate, and nitrite.
 2. Fluoride, chloride, hardness, antimony, iron, pH, manganese, uranium, arsenic.If you wish to order these public well samples, please contact me. Please forward a copy of these water test results to me along with pages 12 – 13 of the public well application; a requirement for final well approval.
- sanitary seal well cap: A sanitary seal well cap for each well shall be installed.
- raw water tap: A raw water (well water) sample tap for each well shall be installed according to the enclosed guidance.
- inspection: Please contact me by phone or email to schedule a final inspection once its finished, connected to your water system and pressurized.

Should you have any questions please contact me. Thanks for your time and cooperation.

Sincerely,

A handwritten signature in black ink that reads "Scott A. Whitney". The signature is written in a cursive style with a large, stylized 'S' and 'W'.

Scott Whitney
Public Water System Inspector
Maine Drinking Water Program
Tel: 207-592-0578
Email: scott.whitney@maine.gov

Encl: New Well Application Page 12-13, Well Shock Chlorination Guidance, Raw Water Tap
Guidance
cc: Holly Sault

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10
(207) 287-6672 FAX (207) 287-4172

PROPERTY LOCATION		>> Caution: Permit Required -- Attach In Space Below <<	
City, Town, or Plantation	SEDGWICK	<p>SEDGWICK Date Permit Issued: 5/10/02 587 \$110.00 TOWN COPY</p> <p><i>Lewis P. Hatcher</i> Local Plumbing Inspector Signature P.I. # 32.6</p> <p><input type="checkbox"/> If Double Fee Charged</p>	
Street or Road	RT. 15		
Subdivision, Lot #			
OWNER/APPLICANT INFORMATION			
Name (last, first, MI)	ALLEN, SUE & SPENCER	<p><input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant</p>	
Mailing Address of	28 BAGADUCE RD.		
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant	BROOKSVILLE, ME 04617		
Daytime Tel. #	326-4108	Municipal Tax Map # _____ Lot # _____	
Owner or Applicant Statement		Caution: Inspections Required	
I state that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant _____ Date _____		<p><i>Lewis P. Hatcher</i> Local Plumbing Inspector Signature</p> <p>(1st) Date Approved 5-10-02</p> <p>(2nd) Date Approved _____</p>	

PERMIT INFORMATION			
TYPE OF APPLICATION		THIS APPLICATION REQUIRES	
<p>1. <input checked="" type="checkbox"/> First Time System</p> <p>2. <input type="checkbox"/> Replacement System</p> <p>Type Replaced: _____</p> <p>Year Installed: _____</p> <p>3. <input type="checkbox"/> Expanded System</p> <p>a. <input type="checkbox"/> One-time exempted</p> <p>b. <input type="checkbox"/> Non-exempted</p> <p>4. <input type="checkbox"/> Experimental System</p> <p>5. <input type="checkbox"/> Seasonal Conversion</p>		<p>1. <input checked="" type="checkbox"/> No Rule Variance</p> <p>2. <input type="checkbox"/> First Time System Variance</p> <p>a. <input type="checkbox"/> Local Plumbing Inspector Approval</p> <p>b. <input type="checkbox"/> State & Local Plumbing Inspector Approval</p> <p>3. Replacement System Variance</p> <p>a. <input type="checkbox"/> Local Plumbing Inspector Approval</p> <p>b. <input type="checkbox"/> State & Local Plumbing Inspector Approval</p> <p>4. <input type="checkbox"/> Minimum Lot Size Variance</p> <p>5. <input type="checkbox"/> Seasonal Conversion Approval</p>	
SIZE OF PROPERTY		DISPOSAL SYSTEM TO SERVE	
<p>~ 39.4 <input type="checkbox"/> sq. ft. <input checked="" type="checkbox"/> acres</p>		<p>1. <input type="checkbox"/> Single Family Dwelling Unit, No. of Bedrooms: _____</p> <p>2. <input type="checkbox"/> Multiple Family Dwelling, No. of Units: _____</p> <p>3. <input checked="" type="checkbox"/> Other: GOLF CENTER SERVING FOOD SPECIFY _____</p>	
SHORELAND ZONING		DISPOSAL SYSTEM COMPONENT(S)	
<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>		<p>1. <input checked="" type="checkbox"/> Complete Non-engineered System</p> <p>2. <input type="checkbox"/> Primitive System (graywater & alt toilet)</p> <p>3. <input type="checkbox"/> Alternative Toilet, specify: _____</p> <p>4. <input type="checkbox"/> Non-Engineered Treatment Tank (only)</p> <p>5. <input type="checkbox"/> Holding Tank, _____ gallons</p> <p>6. <input type="checkbox"/> Non-engineered Disposal Field (only)</p> <p>7. <input type="checkbox"/> Separated Laundry System</p> <p>8. <input type="checkbox"/> Complete Engineered System (2000 gpd or more)</p> <p>9. <input type="checkbox"/> Engineered Treatment Tank (only)</p> <p>10. <input type="checkbox"/> Engineered Disposal Field (only)</p> <p>11. <input type="checkbox"/> Pre-treatment, specify: _____</p> <p>12. <input type="checkbox"/> Miscellaneous components</p>	
		TYPE OF WATER SUPPLY	
		<p>1. <input checked="" type="checkbox"/> Drilled Well 2. <input type="checkbox"/> Dug Well 3. <input checked="" type="checkbox"/> Private</p> <p>4. <input type="checkbox"/> Public 5. <input type="checkbox"/> Other: _____</p>	

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
<p>1. <input checked="" type="checkbox"/> Concrete</p> <p>a. <input checked="" type="checkbox"/> Regular</p> <p>b. <input type="checkbox"/> Low Profile</p> <p>2. <input type="checkbox"/> Plastic</p> <p>3. <input type="checkbox"/> Other: _____</p> <p>CAPACITY 1000 gallons</p>	<p>1. <input type="checkbox"/> Stone Bed 2. <input type="checkbox"/> Stone Trench</p> <p>3. <input checked="" type="checkbox"/> Proprietary Device</p> <p>a. <input checked="" type="checkbox"/> Cluster array c. <input type="checkbox"/> Linear</p> <p>b. <input checked="" type="checkbox"/> Regular load d. <input type="checkbox"/> H-20 load</p> <p>4. <input type="checkbox"/> Other: _____</p> <p>SIZE 8916 <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft.</p>	<p>1. <input type="checkbox"/> No 3. <input checked="" type="checkbox"/> Maybe</p> <p>2. <input type="checkbox"/> Yes >> Specify one below:</p> <p>a. <input type="checkbox"/> Multi-compartment Tank</p> <p>b. <input type="checkbox"/> Tanks in Series</p> <p>c. <input type="checkbox"/> Increase in Tank Capacity</p> <p>d. <input checked="" type="checkbox"/> Filter on Tank Outlet</p>	<p>270 gallons per day</p> <p>BASED ON:</p> <p>1. <input type="checkbox"/> Table 501.1 (dwelling unit(s))</p> <p>2. <input checked="" type="checkbox"/> Table 501.2 (other facilities)</p> <p>SHOW CALCULATIONS -- for other facilities --</p> <p>SEE P. 2</p>
SOIL DATA & DESIGN CLASS	DISPOSAL FIELD SIZING	PUMPING	
<p>PROFILE CONDITION DESIGN</p> <p>21 C 11</p> <p>at Observation Hole # 1</p> <p>Depth 15" Elevation _____</p> <p>OF MOST LIMITING SOIL FACTOR</p>	<p>1. <input type="checkbox"/> Small -- 2.0 sq. ft./gpd</p> <p>2. <input type="checkbox"/> Medium -- 2.6 sq. ft./gpd</p> <p>3. <input checked="" type="checkbox"/> Medium-Large -- 3.3 sq. ft./gpd</p> <p>4. <input type="checkbox"/> Large -- 4.1 sq. ft./gpd</p> <p>5. <input type="checkbox"/> Extra Large -- 5.0 sq. ft./gpd</p>	<p>1. <input type="checkbox"/> Not Required</p> <p>2. <input checked="" type="checkbox"/> May Be Required</p> <p>3. <input type="checkbox"/> Required >> Specify only for engineered or experimental systems: _____</p> <p>DOSE: _____ gallons</p>	<p>3. <input type="checkbox"/> Section 503.0 (meter readings)</p> <p>ATTACH WATER-METER DATA</p>

SITE EVALUATOR STATEMENT			
I Certify that on 3/4/02 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).			
<p><i>Jane M. Magiera</i> Site Evaluator Signature</p>		<p>208 SE #</p>	
<p>JANE M. MAGIERA Site Evaluator Name Printed</p>		<p>4/25/02 Date</p>	
		<p>166-7-1795 Telephone #</p>	

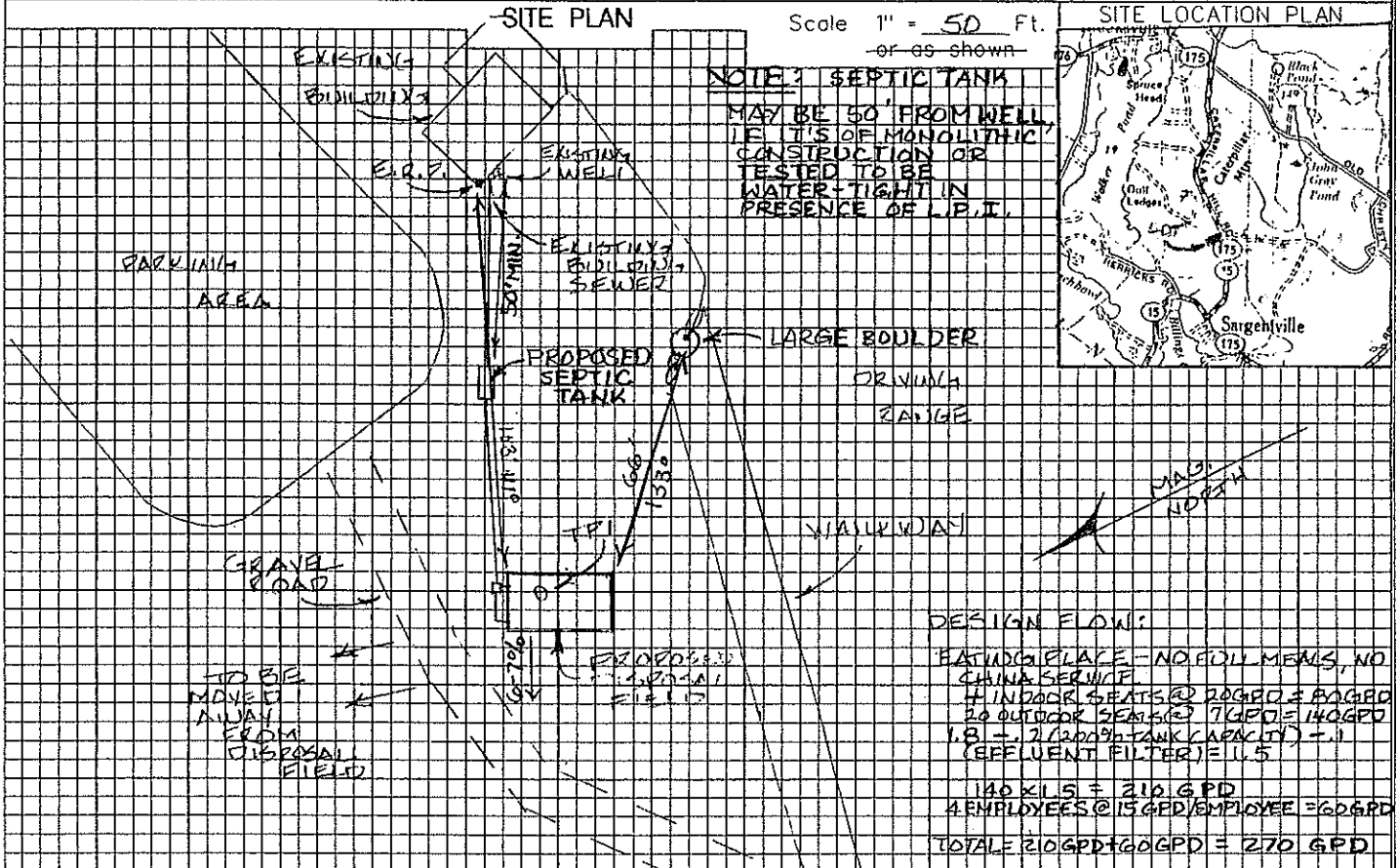
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207) 287-5672 FAX (207) 287-4172

Town, City, Plantation
SEDGWICK

Street, Road Subdivision
RT. 15

Owner's Name
SUE & SPENCER ALLEN



SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP1 ☒ Test Pit ☐ Boring
0" Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
0	FINE	FR. BR. (10/14)	
10	FR. SANDY	FR. YELL.	
20	LOAM	BROWN	
		(10/14 4/4)	
		OLIVE	COM. MED.
		(5/4 4/4)	DISTINCT, GRAY
30			
40			
50			

Soil Classification 2 C Slope 6-7% Limiting Factor 15"
Profile Condition
☒ Ground Water
☐ Restrictive Layer
☐ Bedrock
☐ Pit Depth

Observation Hole ☐ Test Pit ☐ Boring
" Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
0			
10			
20			
30			
40			
50			

Soil Classification Slope % Limiting Factor "
Profile Condition
☐ Ground Water
☐ Restrictive Layer
☐ Bedrock
☐ Pit Depth

[Signature]
Site Evaluator Signature

208
SE

4/25/02
Date

Page 2 of 3
HHE-200 Rev. 7/97

1112

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207) 287-5672 FAX (207) 287-4172

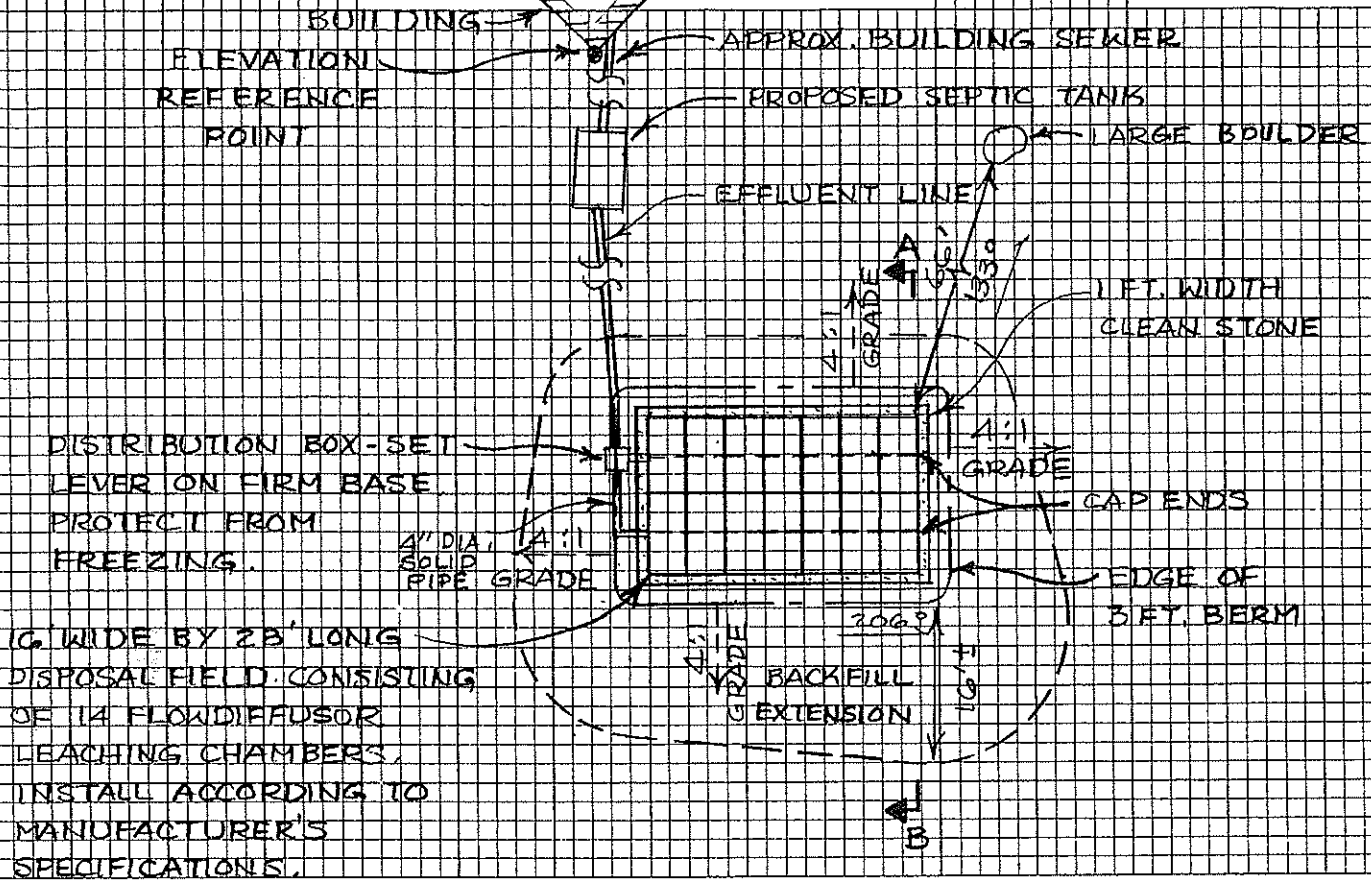
Town, City, Plantation
SEDGWICK

Street, Road, Subdivision
ROUTE 15

Owner's Name
SUE ESPENCER ALLEN

SUBSURFACE WASTEWATER DISPOSAL PLAN

SCALE 1" = 20 FT.



FILL REQUIREMENTS

CONSTRUCTION ELEVATIONS

ELEVATION REFERENCE POINT

Depth of Fill (Upslope) 21"
Depth of Fill (Downslope) 35"

Finished Grade Elevation -41"
Top of Distribution Pipe or Proprietary Device -52"
Bottom of Disposal Area -65"

Location & Description BOTTOM OF SIDING AT CORNER OF BUILDING.
Reference Elevation 0"

DISPOSAL AREA CROSS SECTION

SCALE:
VERTICAL: 1" =
HORIZONTAL: 1" =

(SEE ATTACHED CROSS SECTION A-B)

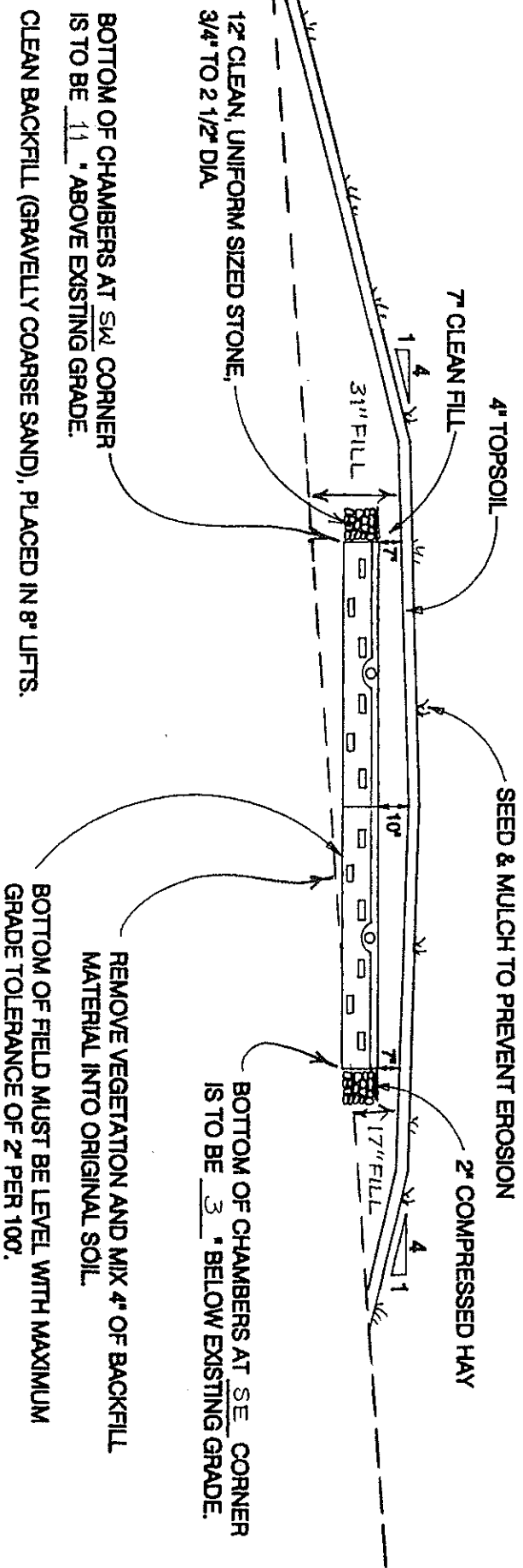
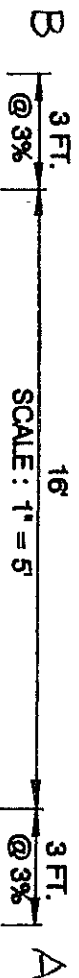
John M. [Signature]
Site Evaluator Signature

202
SE

4/25/02
Date

1217

FLOW DIFFUSOR LEACHING CHAMBER CROSS SECTION (Across A-B)



NOTES:

1. GRADE AREA TO DIRECT RUN-OFF AROUND DISPOSAL FIELD.
2. SEE ALSO ATTACHED DESIGN NOTES.

John A. Muesel
SITE EVALUATORS SIGNATURE

208
S.E.#

4/25/02
DATE

OWNER: SUE & SPENCER ALLEN
LOCATION: SEDA WICK

BATH HOUSE A

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Div. Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	SEDGWICK	Town/City	Permit #
Street or Road	ROUTE 15	Date Permit Issued	Fee \$ Double Fee Charged ()
Subdivision, Lot #	BATH HOUSE A	L.P.I. #	
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature	
Name (last, first, MI)	HIDEOUT HOUSE ACADIA, LLC	Fee: \$	state min. fee \$ Locally adopted fee
Mailing Address of	CALEB SCOTT 13 GREENHEAD LANE STONINGTON, ME 04681	Copy: <input type="checkbox"/> Owner <input type="checkbox"/> Town <input type="checkbox"/> State	
Daytime Tel. #		The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with the application and the Maine Subsurface Wastewater Disposal Rules.	
email address:		Municipal Tax Map #	Lot #
OWNER OR APPLICANT STATEMENT		CAUTION: INSPECTION REQUIRED	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.		I have inspected the installation authorized above and found it to be in compliance with Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant		Local Plumbing Inspector Signature	
Date		(1st Date Approved)	
		(2nd Date Approved)	

PERMIT INFORMATION

TYPE OF APPLICATION	THIS APPLICATION REQUIRES	DISPOSAL SYSTEM COMPONENT(S)
<input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type Replaced: _____ Year Installed: _____ <input type="checkbox"/> 3. Expanded System <input type="checkbox"/> a. Minor Expansion <25% <input type="checkbox"/> b. Major Expansion ≥ 25% <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	<input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit	<input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous components
SIZE OF PROPERTY	DISPOSAL SYSTEM TO SERVE	TYPE OF WATER SUPPLY
<input type="checkbox"/> sq. ft. 17 1/2 acres	<input type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: 3 <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: (SPECIFY) 30 Site Bath House for Campground - 6 employees	<input checked="" type="checkbox"/> Proposed & <input checked="" type="checkbox"/> Existing <input type="checkbox"/> 1. Drilled Wells <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other: _____
SHORELAND ZONING	Current Use: <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
<input checked="" type="checkbox"/> 1. Concrete <input type="checkbox"/> a. Regular 2-1500 GAL. <input type="checkbox"/> b. Low Profile TANKS <input type="checkbox"/> c. with lift station <input type="checkbox"/> d. water tight <input type="checkbox"/> e. two compartment <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY 3000 gallons	<input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device 88 SIDE FEED CONCRETE CHAMBERS <input type="checkbox"/> a. Cluster Array <input checked="" type="checkbox"/> c. Linear <input checked="" type="checkbox"/> b. Regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE 6776 sq. ft. lin. ft.	<input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. Multi-compartment Tank <input type="checkbox"/> b. Tanks in Series <input type="checkbox"/> c. Increase in Tank Capacity <input type="checkbox"/> d. Filter on Tank Outlet	1872 gallons per day BASED ON <input type="checkbox"/> 1. Table 5A (dwelling unit(s)) <input checked="" type="checkbox"/> 2. Table 5C (other facilities) SHOW CALCULATIONS for other facilities 30 SITES x 60 GPD=1800 GPD 6 EMPLOYEES x 12 GPD=72 GPD 1872 GPD
SOIL DATA & DESIGN CLASS	DISPOSAL FIELD SIZING	EFFLUENT/EJECTOR PUMP	LATITUDE AND LONGITUDE
PROFILE CONDITION 3 / C at Observation Hole # 1 Depth 16" OF MOST LIMITING SOIL FACTOR	<input type="checkbox"/> 1. Medium - 2.6 sq. ft./gpd <input checked="" type="checkbox"/> 2. Medium-Large - 3.3 sq. ft./gpd <input type="checkbox"/> 3. Large - 4.1 sq. ft./gpd <input type="checkbox"/> 4. Extra Large - 5.0 sq. ft./gpd	<input checked="" type="checkbox"/> 1. Not Required <input type="checkbox"/> 2. May be Required <input type="checkbox"/> 3. Required Specify only for engineered systems DOSE: _____ gallons	<input type="checkbox"/> 3. Section 4G (meter readings) ATTACH WATER METER DATA LATITUDE AND LONGITUDE at center of disposal area Lat. 44° 19' 01.55" N Lon. 68° 40' 21.50" W if g.p.s., state margin of error 30 ±

SITE EVALUATOR STATEMENT

I certify that on 4-14-2025 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature: WILLIAM A. LaBELLE, JR.
 Site Evaluator Name Printed: WILLIAM A. LaBELLE, JR.
 319 SE# (207) 537-5900 Telephone Number
 4-27-25 Date labelseptic@rivah.net E-mail Address

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

(SEE NOTES PAGE 1A)

(SEE NOTES PAGE 1A)

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health 11 EHS
(207) 287-2070 FAX (207) 287-4172

Town, City, Plantation
SEDGWICK

Street, Road, Subdivision
ROUTE 15

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

NOTES:

THIS IS A MIXED PROJECT WITH UP TO 60 SITES CONSISTING OF TENT SITES, ONE BED CABINS AND ONE BED GEODETIC TENTS. NO RV/CAMPER SITES AND NO PLUMBING TO THE CABINS OR GEODETIC TENTS. ALL CAMPERS WILL HAVE ACCESS TO THE BATH HOUSES, AND THERE ARE, ALSO, PIT PRIVIES FOR THE MORE REMOTE TENT SITES.

I BELIEVE THIS IS BEING PERMITTED AS A CAMPGROUND AND I USED A 60 GPD PER SITE (TENT-CABIN-GEODETIC TENT). THIS IS BATH HOUSE A AND IS FOR UP TO 30 OF THE SITES USE - WHICH 30 SITES THAT WILL HAVE ACCESS, TO THIS BATH HOUSE; MUST BE CONTROLLED BY BEING DESIGNATED/TOLD OR POSSIBLY KEY CARDS COULD BE USED.

THE WELL OR WELLS SERVING THIS PROJECT WILL BE CONSIDERED PUBLIC SUPPLY WELLS AND MUST BE 300 FEET MINIMUM, FROM ANY SEPTIC SYSTEM OR PIT PRIVY AND 150 FEET MINIMUM FROM ANY TANKS.

GEODETIC TENTS AND CABINS SHALL HAVE ONE BED IN THEM AND SHALL NOT HAVE ANY PLUMBING IN THEM.

"WATER TREATMENT SYSTEMS SHALL NOT BE CONNECTED TO THE SEPTIC SYSTEM", FOR FIRST TIME SYSTEMS.

"IF A WATER TREATMENT SYSTEM EXIST AND IS CONNECTED TO THE SEPTIC SYSTEM, IT MUST BE REMOVED FROM THE SEPTIC SYSTEM", FOR REPLACEMENT SYSTEMS.


Site Evaluator's Signature

319
S.E. #

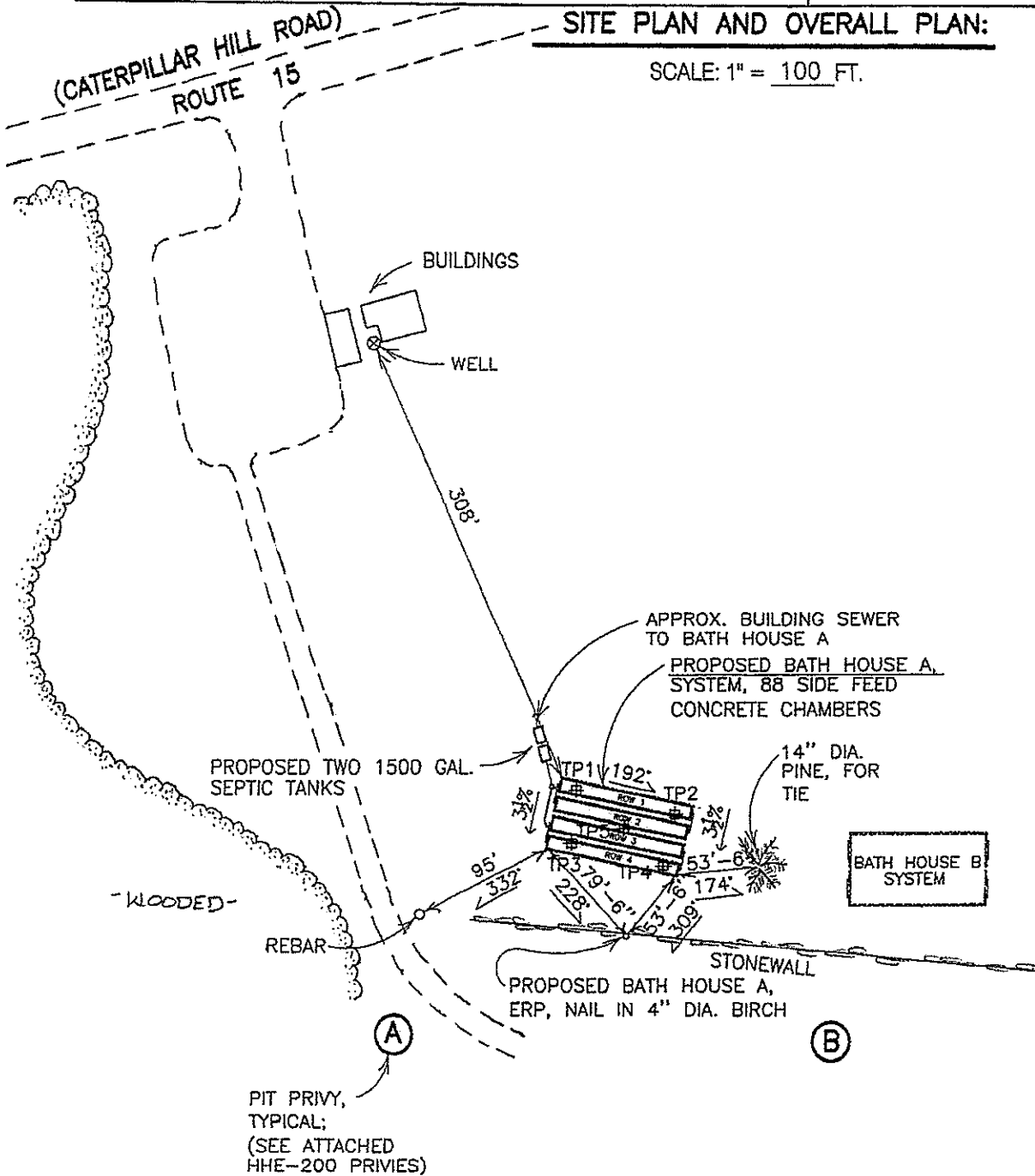
4-27-25
Date

Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	BATH HOUSE A Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
------------------------------------	---------------------------------------	--

SITE PLAN AND OVERALL PLAN:

SCALE: 1" = 100 FT.

APPROX.
MAGNETIC
NORTH



NOTE:

SEE ALL NOTES
PAGES 1A, AND 3.

SCALE: 1" = 100'

0' 50' 100' 200'

W. C. J.
Site Evaluator's Signature

319
S.E. #

4-27-25
Date

BATH HOUSE A

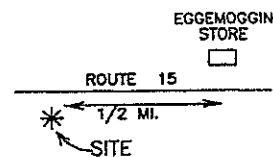
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
--	--	---

Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
---	--	---

SITE PLAN
(SEE ATTACHED SITE PLAN)

Scale 1" = 60 Ft.

SITE LOCATION PLAN
(Attach map from Maine Atlas for First Time System Variance)



SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)

Observation Hole TP#1 ■ Test Pit □ Boring

1 " Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
SANDY	FRIABLE	DARK BROWN (10 YR 3/3)	N.E.
STONY		DARK YELLOWISH BROWN (10 YR 3/6)	
LOAM			
TO	FIRM	OLIVE BROWN	FEW DISTINCT
SANDY			
LOAM		(2.5 Y 4/3)	

Soil Profile <u>3</u>	Classification <u>C</u>	Slope <u>3 1/2%</u>	Limiting Factor <u>18"</u> Depth	<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
-----------------------	-------------------------	---------------------	-------------------------------------	--

Observation Hole TP#2 ■ Test Pit □ Boring

1 " Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
SANDY	FRIABLE	DARK YELLOWISH BROWN (10 YR 4/4)	N.E.
GRAVELLY		DARK YELLOWISH BROWN (10 YR 3/6)	
STONY			
BOULDARY	FIRM	OLIVE BROWN	FEW DISTINCT
LOAM		(2.5 Y 4/3)	

Soil Profile <u>3</u>	Classification <u>C</u>	Slope <u>3 1/2%</u>	Limiting Factor <u>16"</u> Depth	<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
-----------------------	-------------------------	---------------------	-------------------------------------	--

[Signature]
Site Evaluator's Signature

319
S.E. #

4-27-25
Date

BATH HOUSE A

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

Town, City, Plantation
SEDGWICK

Street, Road, Subdivision
ROUTE 15

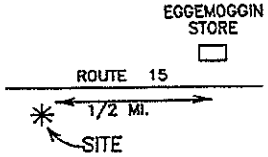
Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

SITE PLAN

Scale 1" = 60 Ft.

(SEE ATTACHED SITE PLAN)

SITE LOCATION PLAN
(Attach map from Maine Atlas
for First Time System Variance)



TP#5: SIMILAR

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)

Observation Hole TP#3 ☒ Test Pit ☐ Boring
1" Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
SANDY	FRIABLE	DARK YELLOWISH BROWN (10 YR 3/4)	N.E.
GRAVELLY		DARK YELLOWISH BROWN (10 YR 4/6)	
COBBLY		TO OLIVE BROWN (2.5 Y 4/4)	
LOAM	FIRM		COMMON DISTINCT
TO			
SANDY LOAM			
DEPTH BELOW MINERAL SOIL SURFACE (inches)			
10			
20			
30			
40			
50			
Soil Profile <u>3</u>	Classification <u>C</u>	Slope <u>3 1/2%</u>	Limiting Factor <u>24"</u> Depth
	Condition		<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth

Observation Hole TP#4 ☒ Test Pit ☐ Boring
1" Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
SANDY	FRIABLE	DARK YELLOWISH BROWN (10 YR 3/4)	N.E.
STONY		DARK	
COBBLY		YELLOWISH BROWN (10 YR 4/6)	
LOAM	FIRM		FEW DISTINCT
DEPTH BELOW MINERAL SOIL SURFACE (inches)			
10			
20			
30			
40			
50			
Soil Profile <u>3</u>	Classification <u>C</u>	Slope <u>3 1/2%</u>	Limiting Factor <u>20"</u> Depth
	Condition		<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth

Site Evaluator's Signature

S. E. #

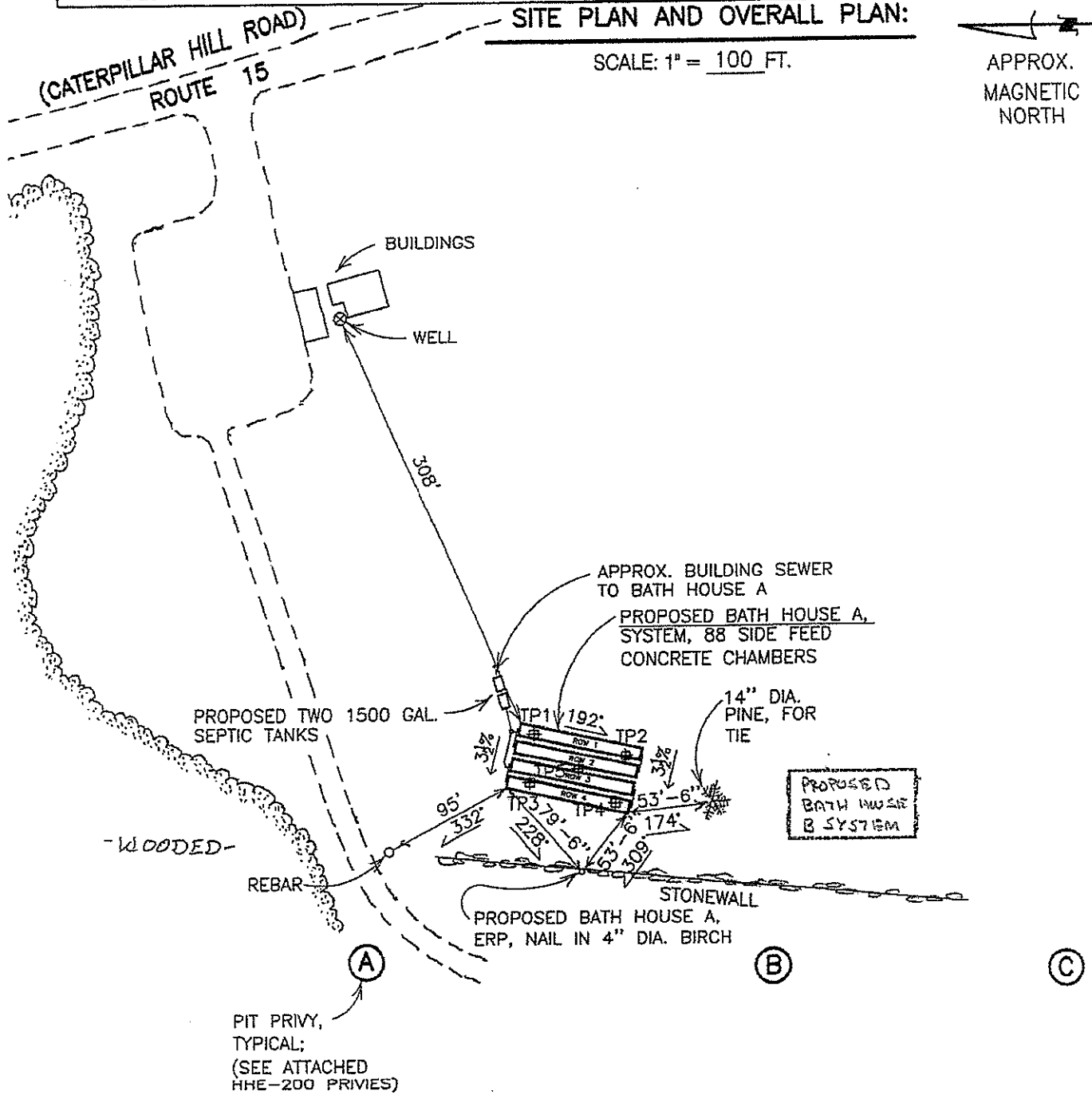
Date

Town, City, Plantation SEDGWICK	Street, Road, Subdivision	BATH HOUSE A
	ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC

SITE PLAN AND OVERALL PLAN:

SCALE: 1" = 100 FT.

APPROX.
MAGNETIC
NORTH



NOTE:

SEE ALL NOTES
PAGES 1A, AND 3.

SCALE: 1" = 100'
0' 50' 100' 200'

[Signature]
Site Evaluator's Signature

319
S.E. #

4-27-25
Date

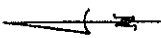
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

Town, City, Plantation
SEDGWICK

Street, Road, Subdivision
ROUTE 15

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC



MAGNETIC
NORTH

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

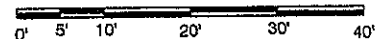
SCALE: 1" = 20 FT.

(SEE ATTACHED SUBSURFACE
WASTEWATER DISPOSAL PLAN)

NOTE:

SEE ALL NOTES
PAGES 2 AND 2A.

SCALE: 1" = 20'



FILL REQUIREMENTS		CONSTRUCTION ELEVATIONS		SYSTEM:	PRVY:	ELEVATION REFERENCE POINT
Depth of Backfill (Upslope)	18"	Finished Grade Elevation		(See		Location & Description NAIL 81"
Depth of Backfill (Downslope)	37"	Top of Distribution Pipe or Proprietary Device	attached	N/A		ABOVE GROUND IN A
Depths @ cross-section shown below or on X-sec. detail.		Bottom of Disposal Field	X-Sec.)			4" DIA. BIRCH
						Reference Elevation is: 0"

NOTES:

DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

1. Tank(s) must be 14' minimum from building.
2. Grade surrounding area to divert surface water away from system.
3. Public Supply Well to be 150' minimum from septic tank(s) and 300' minimum from disposal field.
4. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPW0588).
5. Install water tight, 18" dia. risers to finished finished grade on all covers of tank(s) and separate pump tanks.
6. Full basement below grade foundation frost wall must be 30' minimum from edge of disposal field and no full basement, slab, columns or posts must be 28' minimum from edge of disposal field.

Site Evaluator's Signature

319
S.E. #

4-27-25
Date

BATH HOUSE A

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.



PROPOSED TWO 1500 GAL.
SEPTIC TANKS

4" EFFLUENT LINE

3' DISTRIBUTION MANHOLE

PROPOSED 88 (4' x 8') SIDE FEED
CHAMBERS PLACED IN 2 SETS OF
2 ROWS OF 22 ROWS SEPARATED
BY 5'. FOUR CORNERS ARE STAKED OUT.

EDGE OF STONE

4" SOLID
PIPE,
TYPICAL
APPROX.
EDGE OF FILL

4" SOLID
PIPE,
TYPICAL
TIE ENDS
TOGETHER

53' - 6"
174°
TO
RED PINE,
TIE

REBAR

NOTE:
SEE ALL NOTES
PAGES 2, 2A AND 3.
SCALE: 1" = 20'

0' 5' 10' 20' 30' 40'

STONEWALL

ERP, NAIL IN
4" DIA. BIRCH

Site Evaluator's Signature

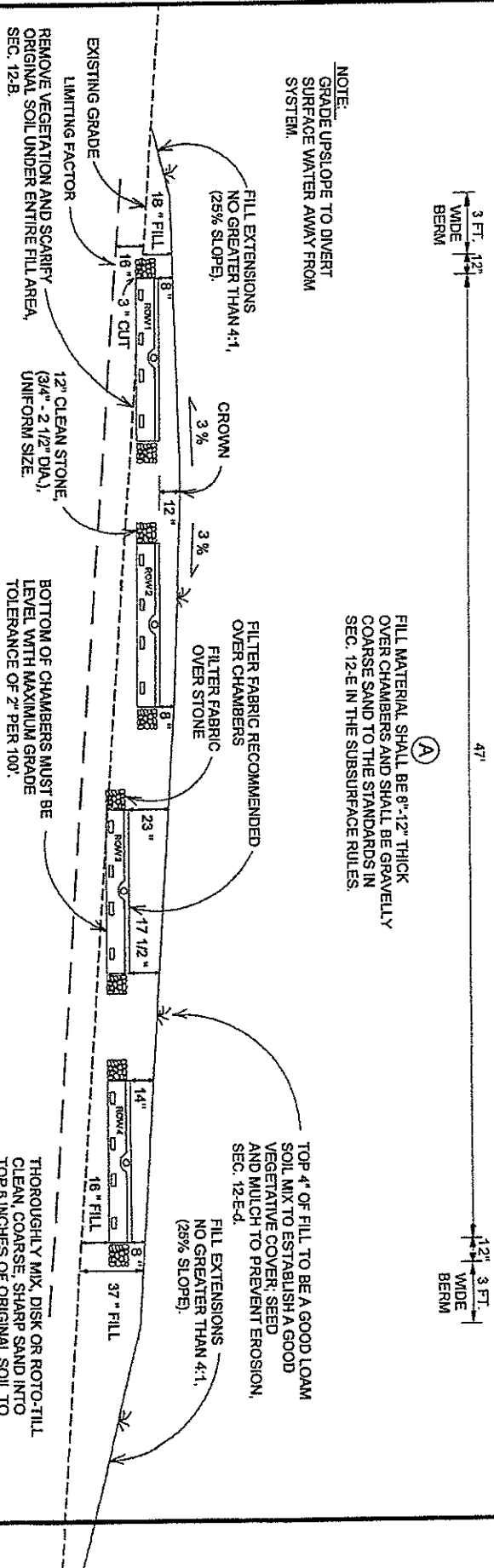
S.E. #

Date

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4-27-25

DISPOSAL AREA CROSS SECTION
6% DROP ROW 1 TO ROW 3



NOTE:
GRADE UPSLOPE TO DIVERT
SURFACE WATER AWAY FROM
SYSTEM.

FILL MATERIAL SHALL BE 8"-12" THICK
OVER CHAMBERS AND SHALL BE GRAVELLY
COARSE SAND TO THE STANDARDS IN
SEC. 12-E IN THE SUBSURFACE RULES.

NOTE:
SYSTEM MUST BE INSTALLED ACCORDING
TO THE RULES AND PRACTICES SET FORTH
IN THE MOST CURRENT VERSION OF THE
STATE OF MAINE SUBSURFACE WASTEWATER
DISPOSAL RULES. INSTALLATION CONTRACTOR
MUST BE FAMILIAR WITH SAID RULES AND
CONSTRUCT SYSTEM IN FULL COMPLIANCE
WITH SECTION 12 OF SAID RULES.

THOROUGHLY MIX, DISK OR ROTO-TILL
CLEAN, COARSE, SHARP SAND INTO
TOP 6 INCHES OF ORIGINAL SOIL TO
CREATE A TRANSITION ZONE, SEC. 12-B.

ELEVATIONS:
ELEV. REF. PT. (ERP): 0"
FINISHED GRADE:
TOP OF CHAMBERS:
BOTTOM OF CHAMBERS:

ROWS 1 & 2: +5"
-7"
-20"
ROWS 3 & 4: -7"
-19"
-40"

SCALE: IN FEET
0' 1' 2' 3' 4' 5'

OWNER: HIDEOUT HOUSE ACADIA, LLC
LOCATION: SEDGWICK

WILLIAM A. LABELLE, JR.

S.E.# 319

DATE 4-27-25

BATH HOUSE B

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Div. Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	SEDGWICK	Town/City	Permit #
Street or Road	ROUTE 15	Date Permit Issued	Fee \$ Double Fee Charged ()
Subdivision, Lot #	BATH HOUSE B	L.P.I. #	
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature	
Name (last, first, MI)	HIDEOUT HOUSE ACADIA, LLC	Fee: \$	state min. fee \$ Locally adopted fee
Mailing Address of	CALEB SCOTT 13 GREENHEAD LANE STONINGTON, ME 04681	Copy: <input type="checkbox"/> Owner <input type="checkbox"/> Town <input type="checkbox"/> State	
Daytime Tel. #		The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with the application and the Maine Subsurface Wastewater Disposal Rules.	
email address:		Municipal Tax Map # Lot #	
OWNER OR APPLICANT STATEMENT		CAUTION: INSPECTION REQUIRED	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.		I have inspected the installation authorized above and found it to be in compliance with Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant		(1st Date Approved)	
Date		Local Plumbing Inspector Signature	
		(2nd Date Approved)	

PERMIT INFORMATION

TYPE OF APPLICATION	THIS APPLICATION REQUIRES	DISPOSAL SYSTEM COMPONENT(S)
<input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type Replaced: _____ Year Installed: _____ <input type="checkbox"/> 3. Expanded System <input type="checkbox"/> a. Minor Expansion <25% <input type="checkbox"/> b. Major Expansion ≥ 25% <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	<input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance <input type="checkbox"/> a. Local Plumbing Inspector Approval <input type="checkbox"/> b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit	<input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous components
SIZE OF PROPERTY	DISPOSAL SYSTEM TO SERVE	TYPE OF WATER SUPPLY
<input type="checkbox"/> sq. ft. 17 1/2 acres	<input type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: 3 <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: (SPECIFY) 30 Site Bath House for Campground - 6 employees	<input checked="" type="checkbox"/> Proposed & <input checked="" type="checkbox"/> Existing <input type="checkbox"/> 1. Drilled Wells <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other: _____
SHORELAND ZONING	Current Use: <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
<input checked="" type="checkbox"/> 1. Concrete <input type="checkbox"/> a. Regular 2-1500 GAL. <input type="checkbox"/> b. Low Profile TANKS <input type="checkbox"/> c. with lift station <input type="checkbox"/> d. water tight <input type="checkbox"/> e. two compartment <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY 3000 gallons	<input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device 88 SIDE FEED CONCRETE CHAMBERS <input type="checkbox"/> a. Cluster Array <input checked="" type="checkbox"/> c. Linear <input checked="" type="checkbox"/> b. Regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE 6776 sq. ft. <input type="checkbox"/> lin. ft.	<input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. Multi-compartment Tank <input type="checkbox"/> b. _____ Tanks in Series <input type="checkbox"/> c. Increase in Tank Capacity <input type="checkbox"/> d. Filter on Tank Outlet	1872 gallons per day BASED ON <input type="checkbox"/> 1. Table 5A (dwelling unit(s)) <input checked="" type="checkbox"/> 2. Table 5C (other facilities) SHOW CALCULATIONS for other facilities 30 SITES x 60 GPD = 1800 GPD 6 EMPLOYEES x 12 GPD = 72 GPD 1872 GPD
SOIL DATA & DESIGN CLASS	DISPOSAL FIELD SIZING	EFFLUENT/EJECTOR PUMP	LATITUDE AND LONGITUDE
PROFILE CONDITION 3 / C at Observation Hole # 1 Depth 15" OF MOST LIMITING SOIL FACTOR	<input type="checkbox"/> 1. Medium - 2.6 sq. ft./gpd <input checked="" type="checkbox"/> 2. Medium-Large - 3.3 sq. ft./gpd <input type="checkbox"/> 3. Large - 4.1 sq. ft./gpd <input type="checkbox"/> 4. Extra Large - 5.0 sq. ft./gpd	<input checked="" type="checkbox"/> 1. Not Required <input type="checkbox"/> 2. May be Required <input type="checkbox"/> 3. Required Specify only for engineered systems DOSE: _____ gallons	<input type="checkbox"/> 3. Section 4G (meter readings) ATTACH WATER METER DATA LATITUDE AND LONGITUDE at center of disposal area Lat. 44° d 18' m 59.72" N Lon. 68° d 40' m 20.57" W if g.p.s., state margin of error 30' ±

SITE EVALUATOR STATEMENT

I certify that on 4-14-2025 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature
WILLIAM A. LaBELLE, JR.

Site Evaluator Name Printed

319
SE#
(207) 537 - 5900

Telephone Number

4-27-25
Date
labelleseptic@rivah.net

E-mail Address

Page 1 of 3
HHE-200 Rev. 01/2025

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 BHS
(207) 287-2070 FAX (207) 287-4172

Town, City, Plantation
SEDGWICK

Street, Road, Subdivision
ROUTE 15

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

NOTES:

THIS IS A MIXED PROJECT WITH UP TO 60 SITES CONSISTING OF TENT SITES, ONE BED CABINS AND ONE BED GEODETIC TENTS. NO RV/CAMPER SITES AND NO PLUMBING TO THE CABINS OR GEODETIC TENTS. ALL CAMPERS WILL HAVE ACCESS TO THE BATH HOUSES, AND THERE ARE, ALSO, PIT PRIVIES FOR THE MORE REMOTE TENT SITES.

I BELIEVE THIS IS BEING PERMITTED AS A CAMPGROUND AND I USED A 60 GPD PER SITE (TENT-CABIN-GEODETIC TENT). THIS IS BATH HOUSE B AND IS FOR UP TO 30 OF THE SITES USE - WHICH 30 SITES THAT WILL HAVE ACCESS, TO THIS BATH HOUSE; MUST BE CONTROLLED BY BEING DESIGNATED/TOLD OR POSSIBLY KEY CARDS COULD BE USED.

THE WELL OR WELLS SERVING THIS PROJECT WILL BE CONSIDERED PUBLIC SUPPLY WELLS AND MUST BE 300 FEET MINIMUM, FROM ANY SEPTIC SYSTEM OR PIT PRIVY AND 150 FEET MINIMUM FROM ANY TANKS.

GEODETIC TENTS AND CABINS SHALL HAVE ONE BED IN THEM AND SHALL NOT HAVE ANY PLUMBING IN THEM.

"WATER TREATMENT SYSTEMS SHALL NOT BE CONNECTED TO THE SEPTIC SYSTEM", FOR FIRST TIME SYSTEMS.

"IF A WATER TREATMENT SYSTEM EXIST AND IS CONNECTED TO THE SEPTIC SYSTEM, IT MUST BE REMOVED FROM THE SEPTIC SYSTEM", FOR REPLACEMENT SYSTEMS.


Site Evaluator's Signature

319
S.E. #

4-27-25
Date

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Town, City, Plantation
SEDGWICK

Street, Road, Subdivision
ROUTE 15

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

SITE PLAN

Scale 1" = 60 Ft.

(SEE ATTACHED SITE PLAN)

SITE LOCATION PLAN
(Attach map from Maine Atlas
for First Time System Variance)

EGGEMOGGIN
STORE

ROUTE 15

A hand-drawn map showing a road with a star symbol and the text "1/2 MI." and "SITE".

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)

Observation Hole TP#6 ☒ Test Pit ☐ Boring

1 " Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
SANDY	FRIABLE	DARK YEL. BROWN (10 YR 3/4)	N.E.
		DARK YELLOWISH BROWN (10 YR 4/6)	
STONY	FIRM	OLIVE BROWN (2.5 Y 4/4)	
LOAM			

Soil 3 Profile	Classification C Condition	Slope 3 1/2%	Limiting Factor 18" Depth	<input checked="" type="checkbox"/> Ground Water <input checked="" type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
-----------------------------	---	------------------------	--	---

Observation Hole TP#7 ☒ Test Pit ☐ Boring

1 ^a Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
SANDY	FRIABLE	DARK YELLOWISH BROWN (10 YR 4/4)	N.E.
GRAVELLY			
STONY	FIRM	OLIVE BROWN (2.5 Y 4/4)	
LOAM			

Soil Profile	Classification	Slope	Limiting Factor	<input type="checkbox"/> Ground Water <input checked="" type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
3	C	3 1/2%	18"	

Site Evaluator's Signature

319
S.E. #

4-27-25
Date

Town, City, Plantation
SEDGWICK

Street, Road, Subdivision
ROUTE 15

Owner or Applicant Name	HIDEOUT HOUSE ACADIA, LLC
-------------------------	---------------------------

SITE PLAN

Scale 1" = 60 Ft.

(SEE ATTACHED SITE PLAN)

SITE LOCATION PLAN
(Attach map from Maine Atlas
for First Time System Variance)

EGGEMOGGIN
STORE

ROUTE 15

TP#9: 3-C, 24" RESTRICTIVE LAYER, 36" HOLE DEPTH
TP#10: 3-C, 24" RESTRICTIVE LAYER & S.G.W.T., 32" HOLE DEPTH
TP#12: 3-C, 24" S.G.W.T., 42" HOLE DEPTH (HAD WATER IN THE HOLE)
TP#13: 3-C, 16" RESTRICTIVE LAYER, 36" HOLE DEPTH

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)

Observation Hole TP#8 ☒ Test Pit ☐ Boring

1 "Depth of organic horizon above mineral soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
10	SANDY	FRIABLE	DARK BROWN (10 YR 3/3)	
20	GRAVELLY	FIRM	OLIVE BROWN	N.E.
30	LOAM		(2.5 Y 4/4)	
40				
50				

Soil <u>3</u>	Classification <u>C</u>	Slope <u>3 1/2%</u>	Limiting Factor <u>18"</u>	<input checked="" type="checkbox"/> Ground Water <input checked="" type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
Profile	Condition		Depth	

Observation Hole TP#11 ☒ Test Pit ☐ Boring

1 * Depth of organic horizon above mineral soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
10	SANDY	FRIABLE	DARK YEL. BROWN (10 YR 3/4)	
20	STONY		DARK YELLOWISH BROWN (10 YR 4/6)	N.E.
30	LOAM	FIRM	OLIVE BROWN (2.5 Y 4/4)	
40				
50				

Soil 3	Classification C	Slope 3 1/2%	Limiting Factor 18'	<input type="checkbox"/> Ground Water <input checked="" type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
Profile	Condition			

Site Evaluator's Signature _____

319
S. E. #

4-27-25
Date

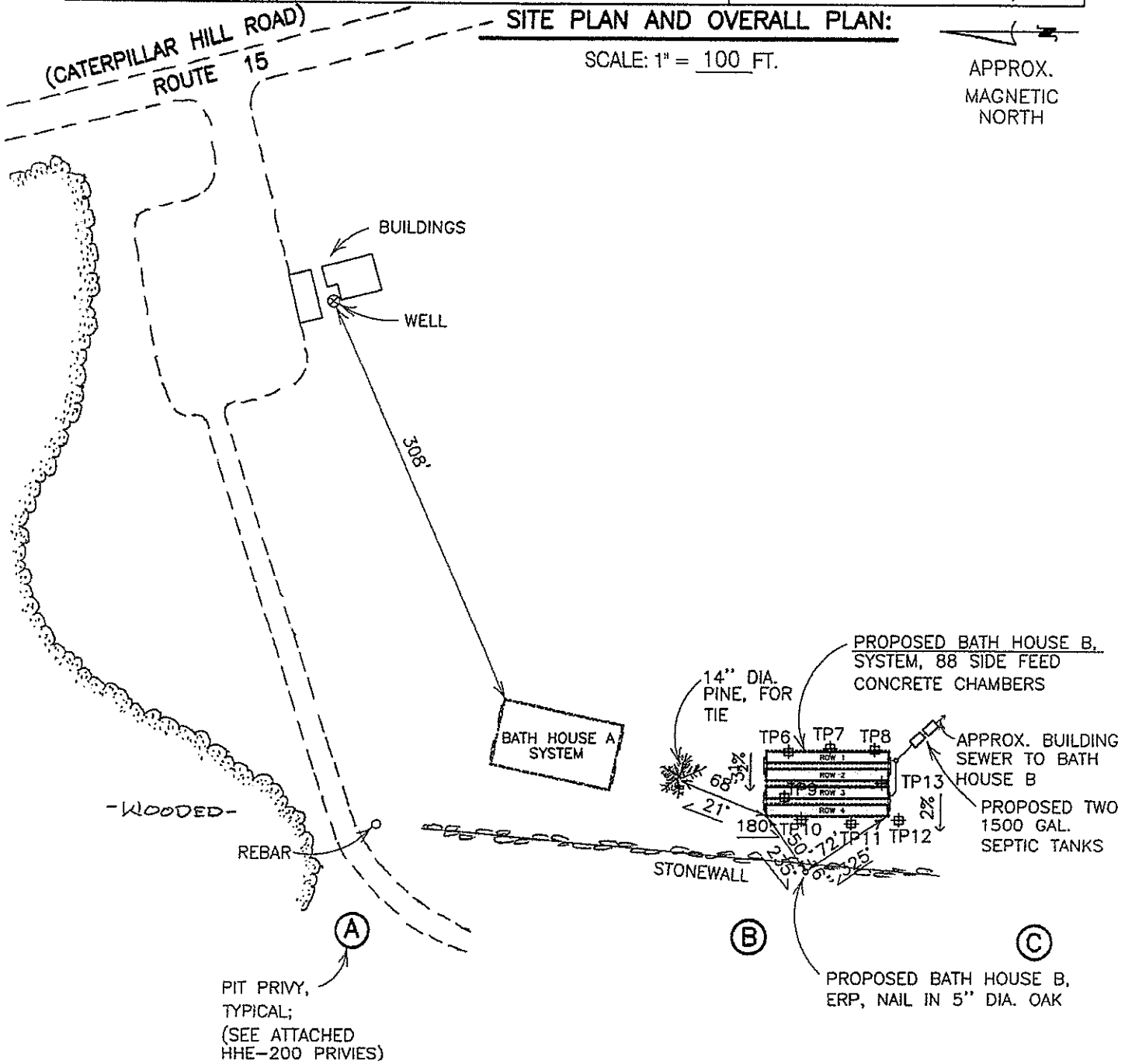
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
------------------------------------	---------------------------------------	--

BATH HOUSE B

SITE PLAN AND OVERALL PLAN:

SCALE: 1" = 100 FT.

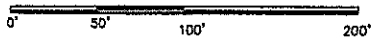
APPROX.
MAGNETIC
NORTH



NOTE:

SEE ALL NOTES
PAGES 1A, AND 3.

SCALE: 1" = 100'



WAC3

Site Evaluator's Signature

319

S.E. #

4-27-25

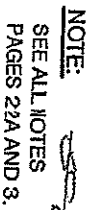
Date

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
<p style="margin-top: 5px;">MAGNETIC NORTH</p>		<p style="text-align: center; font-weight: bold;">SUBSURFACE WASTEWATER DISPOSAL PLAN:</p> <p style="text-align: center;">SCALE: 1" = <u>20</u> FT.</p>
<p>(SEE ATTACHED SUBSURFACE WASTEWATER DISPOSAL PLAN)</p>		
<p>NOTE: SEE ALL NOTES PAGES 2 AND 2A.</p>		<p>SCALE: 1" = 20'</p>
FILL REQUIREMENTS	CONSTRUCTION ELEVATIONS	SYSTEM: PRIVY: ELEVATION REFERENCE POINT
Depth of Backfill (Upslope) <u>18" - 25"</u>	Finished Grade Elevation <u>(See</u>	Location & Description <u>NAIL 69"</u>
Depth of Backfill (Downslope) <u>37"</u>	Top of Distribution Pipe or Proprietary Device <u>attached</u>	<u>ABOVE GROUND IN A</u>
Depths @ cross-section shown below or on X-sec. detail.	Bottom of Disposal Field <u>X-Sec.)</u>	<u>45' DIA. OAK</u>
Reference Elevation is: <u>0"</u>		
<p>NOTES: DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)</p> <ol style="list-style-type: none"> 1. Tank(s) must be 14' minimum from building. 2. Grade surrounding area to divert surface water away from system. 3. Public Supply Well to be 150' minimum from septic tank(s) and 300' minimum from disposal field. 4. All work done adjacent to wetlands, water bodies and water courses must be in compliance with Section 13 Of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPW0588). 5. Install water tight, 18" dia. risers to finished finished grade on all covers of tank(s) and separate pump tanks. 6. Full basement below grade foundation frost wall must be 30' minimum from edge of disposal field and no full basement, slab, columns or posts must be 28' minimum from edge of disposal field. 		
<p>Site Evaluator's Signature</p>	<p><u>319</u></p> <p>S.E. #</p>	<p><u>4-27-25</u></p> <p>Date</p>

Town, City, Plantation	Street, Road, Subdivision	Owner or Applicant Name
SEDGWICK	BOIITE 15	WINDLETT HOUSE ACADIA LLC
		DAITH MOUSE B

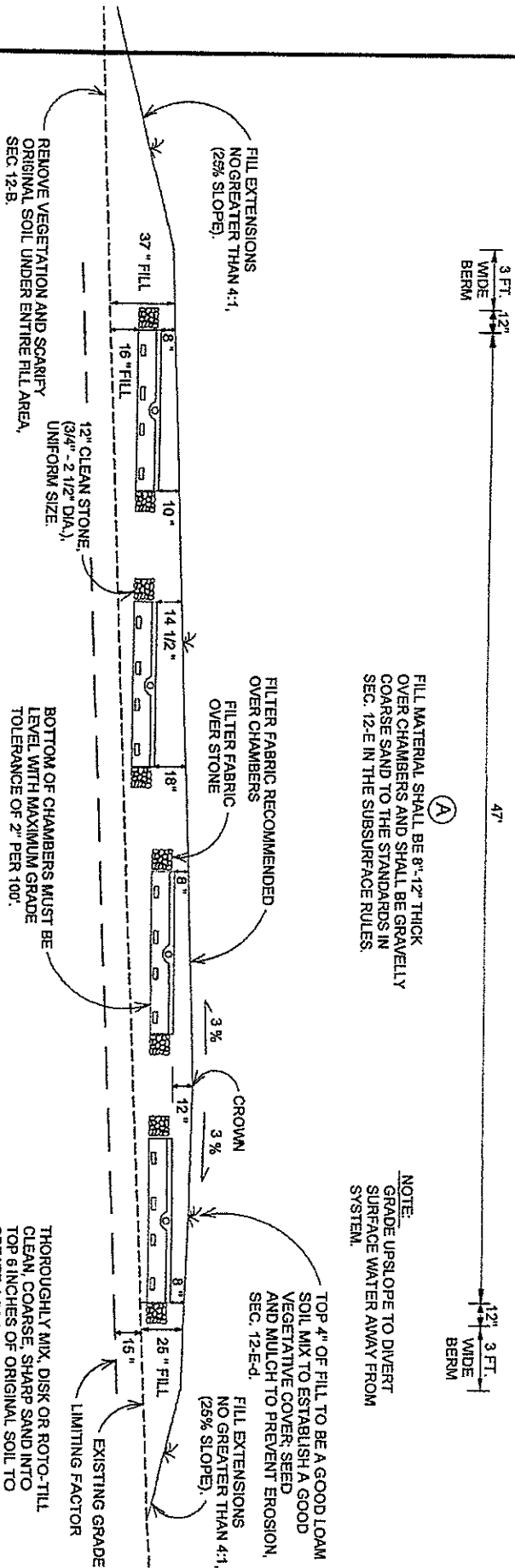
PROPOSED 88 (4' x 8) SIDE FEED CHAMBERS PLACED IN 2 SETS OF 2 ROWS OF 22 ROWS SEPARATED BY 5'. FOUR CORNERS ARE STAKED OUT.

PROPOSED TWO 1500 GAL.
SEPTIC TANKS



Date _____

DISPOSAL AREA CROSS SECTION
4% DROP ROW 1 TO ROW 3



NOTE:
SYSTEM MUST BE INSTALLED ACCORDING TO THE RULES AND PRACTICES SET FORTH IN THE MOST CURRENT VERSION OF THE STATE OF MAINE SUBSURFACE WASTEWATER DISPOSAL RULES. INSTALLATION CONTRACTOR MUST BE FAMILIAR WITH SAID RULES AND CONSTRUCT SYSTEM IN FULL COMPLIANCE WITH SECTION 12 OF SAID RULES.

THOROUGHLY MIX, DISK OR ROTO-TILL CLEAN, COARSE, SHARP SAND INTO TOP 6 INCHES OF ORIGINAL SOIL TO CREATE A TRANSITION ZONE, SEC. 12-B.

ELEVATIONS:
ELEV. REF. PT. (ERP):
FINISHED GRADE:
TOP OF CHAMBERS:
BOTTOM OF CHAMBERS:

ROWS 1 & 2: +1", -11", -24"
ROWS 3 & 4: -1", -23", -36"

SCALE: IN FEET
0' 1' 2' 3' 4' 5'

OWNER: HIDEOUT HOUSE ACADIA, LLC
LOCATION: SEDGWICK

WILLIAM A. LABELLE, JR.

319

4-27-25

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Div. Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	SEDGWICK	Town/City	Permit #
Street or Road	ROUTE 15	Date Permit Issued	Fee \$ Double Fee Charged ()
Subdivision, Lot #	PIT PRIVIES	L.P.I. #	
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature	
Name (last, first, MI)	HIDEOUT HOUSE ACADIA, LLC	Fee: \$	state min. fee \$ Locally adopted fee
Mailing Address of	CALEB SCOTT 13 GREENHEAD LANE STONINGTON, ME 04681	Copy: <input type="checkbox"/> Owner <input type="checkbox"/> Town <input type="checkbox"/> State	
Daytime Tel. #		The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with the application and the Maine Subsurface Wastewater Disposal Rules.	
email address:		Municipal Tax Map #	Lot #
OWNER OR APPLICANT STATEMENT		CAUTION: INSPECTION REQUIRED	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.		I have inspected the installation authorized above and found it to be in compliance with Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant		(1st Date Approved)	
Date		Local Plumbing Inspector Signature	
		(2nd Date Approved)	

PERMIT INFORMATION

TYPE OF APPLICATION	THIS APPLICATION REQUIRES	DISPOSAL SYSTEM COMPONENT(S)
<input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type Replaced: _____ Year Installed: _____ <input type="checkbox"/> 3. Expanded System a. Minor Expansion <25% b. Major Expansion ≥ 25% <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	<input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit	<input type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input checked="" type="checkbox"/> 3. Alternative Toilet, specify: 5 Pit Privies <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous components
SIZE OF PROPERTY	DISPOSAL SYSTEM TO SERVE	TYPE OF WATER SUPPLY
17 1/2 sq. ft.	<input type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: 3 <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: (SPECIFY) 5 Pit Privies associated with Campground tent site	<input checked="" type="checkbox"/> Proposed <input type="checkbox"/> Existing <input type="checkbox"/> 1. Drilled Wells <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other: _____
SHORELAND ZONING	Current Use: <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

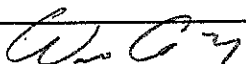
TREATMENT TANK	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
<input type="checkbox"/> 1. Concrete a. Regular b. Low Profile c. with lift station d. water tight e. two compartment <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY _____ gallons	<input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input type="checkbox"/> 3. Proprietary Device a. Cluster Array <input type="checkbox"/> c. Linear b. Regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE _____ sq. ft. <input type="checkbox"/> lin. ft.	<input type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. Multi-compartment Tank <input type="checkbox"/> b. _____ Tanks in Series <input type="checkbox"/> c. Increase in Tank Capacity <input type="checkbox"/> d. Filter on Tank Outlet	_____ gallons per day BASED ON <input type="checkbox"/> 1. Table 5A (dwelling unit(s)) <input type="checkbox"/> 2. Table 5C (other facilities) SHOW CALCULATIONS for other facilities N/A PIT PRIVIES ASSOCIATED WITH CAMPGROUND
SOIL DATA & DESIGN CLASS	DISPOSAL FIELD SIZING	EFFLUENT/EJECTOR PUMP	LATITUDE AND LONGITUDE
PROFILE CONDITION at Observation Hole # _____ Depth _____ OF MOST LIMITING SOIL FACTOR	<input type="checkbox"/> 1. Medium - 2.6 sq. ft./gpd <input type="checkbox"/> 2. Medium-Large - 3.3 sq. ft./gpd <input type="checkbox"/> 3. Large - 4.1 sq. ft./gpd <input type="checkbox"/> 4. Extra Large - 5.0 sq. ft./gpd	<input type="checkbox"/> 1. Not Required <input type="checkbox"/> 2. May be Required <input type="checkbox"/> 3. Required Specify only for engineered systems DOSE: _____ gallons	<input type="checkbox"/> 3. Section 4G (meter readings) ATTACH WATER METER DATA Lat. 44° 19' 02.3" N Lon. 68° 40' 23.7" W If g.p.s., state margin of error: 30 ±

SITE EVALUATOR STATEMENT

I certify that on 4-14-2025 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature: WILLIAM A. LaBELLE, JR.
 Site Evaluator Name Printed: WILLIAM A. LaBELLE, JR.
 SE#: 319
 Telephone Number: (207) 537-5900
 Date: 4-27-25
 E-mail Address: labelleseptec@rivah.net

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Dept. of Health & Human Services Division of Environmental Health, 11 SHS (207) 287-2070 FAX (207) 287-4172
Town, City, Plantation	Street, Road, Subdivision	Owner or Applicant Name
SEDGWICK	ROUTE 15	HIDEOUT HOUSE ACADIA, LLC
<p>NOTES:</p> <p>THESE 5 PIT PRIVIES ARE PART OF A LARGER 60 SITE CAMPGROUND PROJECT. PIT PRIVIES ARE FOR THE MORE REMOTE TENT SITES, BUT THOSE SITES/CAMPERS WILL ALSO HAVE ACCESS TO A BATH HOUSE, AS WELL.</p> <p>THE WELL OR WELLS SHALL BE 300 FEET MINIMUM FROM THESE PIT PRIVIES AND ANY SEPTIC SYSTEM AND 150 FEET MINIMUM FROM ANY TANK.</p>		
	319	4-27-25
Site Evaluator's Signature	S.E. #	Date

Page 1A of 3
HHE-200 Rev. 01/2025

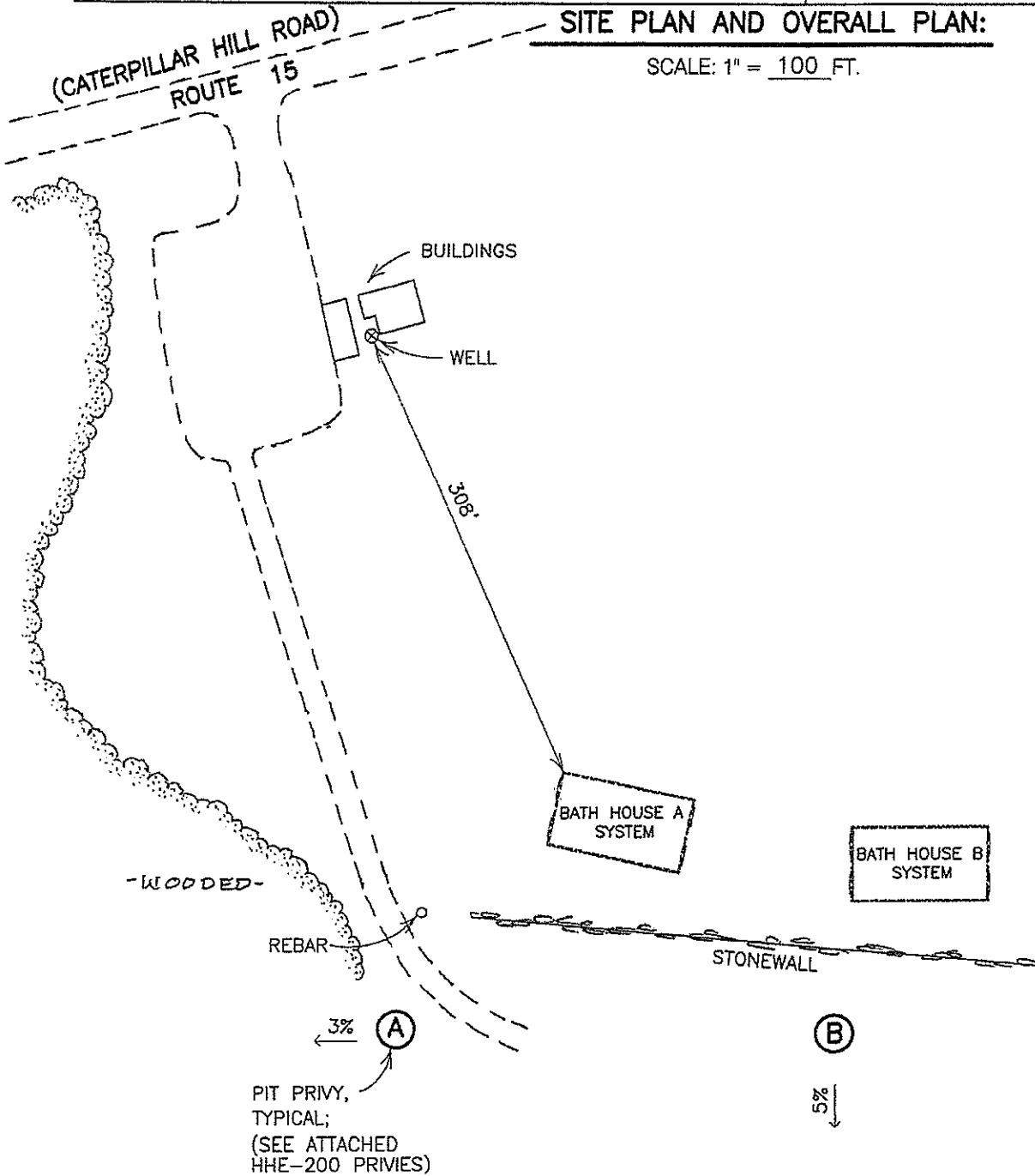
PRIVIES A - E

Town, City, Plantation SEDGWICK	Street, Road, Subdivision ROUTE 15	Owner or Applicant Name HIDEOUT HOUSE ACADIA, LLC
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SITE PLAN AND OVERALL PLAN:

SCALE: 1" = 100 FT.

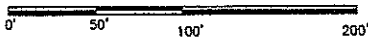
APPROX.
MAGNETIC
NORTH



NOTE:

SEE ALL NOTES
PAGES 1A, AND 3.

SCALE: 1" = 100'



[Signature]
Site Evaluator's Signature

319
S.E. #

4-27-25
Date

(E)
5% ↓

(D)
0% ↓

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

Owner or Applicant Name	HIDEOUT HOUSE ACADIA, LLC
-------------------------	---------------------------

A diagram showing a horizontal line with arrows at both ends. Above the line, the text "1/2 MI." is written. Below the line, on the right side, is the word "SITE". To the left of the line, there is a star symbol. A curved arrow points from the star symbol towards the "SITE" label.

at center of privy pit
Lat. 44° d 19' m 02.3'' N
Lon. 68° d 40' m 23.7'' W
if g.p.s., state margin of error 30' ±

Observation Hole _____ ☐ Test Pit ☐ Boring
1 " Depth of organic horizon above mineral soil

Diagram illustrating a soil profile chart with depth below mineral soil surface (inches) on the vertical axis (0 to 50) and various soil properties on the horizontal axis: Texture, Consistency, Color, and Mottling. A diagonal line represents the soil profile.

Soil Classification		Slope	Limiting Factor	<input type="checkbox"/> Ground Water
Profile	Condition	%	Depth	<input type="checkbox"/> Restrictive Layer
				<input type="checkbox"/> Bedrock
				<input type="checkbox"/> Pit Depth

Date _____

Town, City, Plantation
SEDGWICK

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

SCALE: 1" = 20 FT.

SCALE: 1" = 20 FT.

ERP, NAIL IN
10" DIA. SPRUCE

← 3%
SLOPE

25'
321'

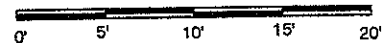
-6" DIA. SPRUCE,
FOR TIE






PROPOSED PIT PRIVY,
CENTER OF PIT IS
STAKED OUT

NOTE:

SEE ALL NOTES
PAGE 1A.

SCALE: 1" = 10'



FILL REQUIREMENTS		CONSTRUCTION ELEVATIONS		SYSTEM:	PRIVY:	ELEVATION REFERENCE POINT
Depth of Backfill (Upslope)	24"	Finished Grade Elevation			Location & Description	NAIL
Depth of Backfill (Downslope)	25 1/2"	Top of Distribution Pipe or Proprietary Device				ABOVE GROUND IN A
Depths @ cross-section shown below or on X-sec. detail.		Bottom of Disposal Field/Privy pit		-60"		10" DIA. SPRUCE
					Reference Elevation is:	0"

NOTES:

1. Grade surrounding area to divert surface water away from privy.
2. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPWO588).

Site Evaluator's Signature

319
S.E. #

4-27-25
Date

PRIVY A

TYPICAL PIT PRIVY 30" DEEP PIT

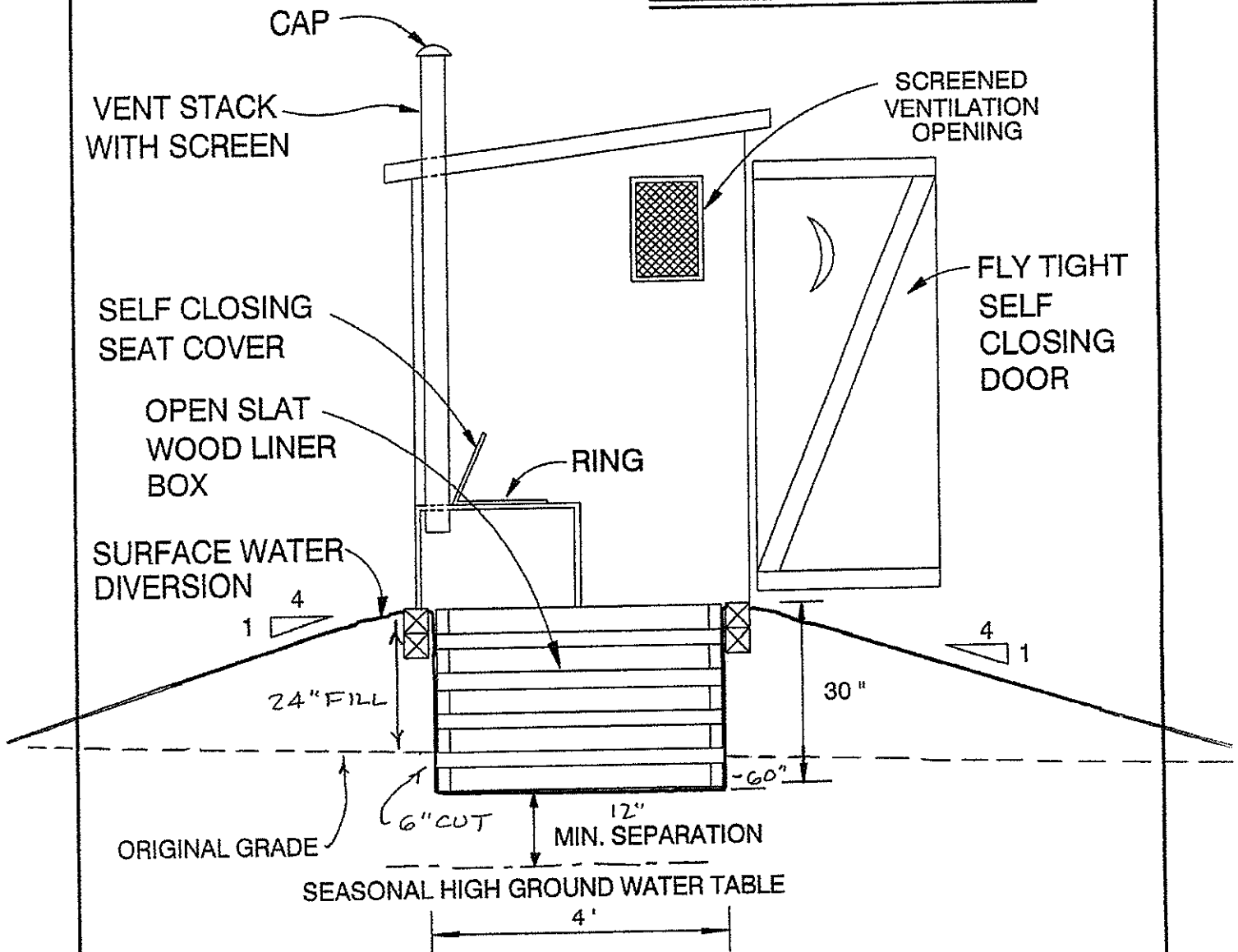
SCALE: 1" = 2'±

TOWN: SEDGWICK

ROAD: ROUTE 15

HIDEOUT HOUSE
OWNER: ACADIA, LLC

MAINTAIN PROPER SANITATION



ERP = NAIL 50" ABOVE GROUND IN 10" DIA. SPRUCE
LOCATED 50° AND 21' FROM CENTER OF PIT.
NAIL IS 60" ABOVE BOTTOM OF PIT.

CENTER OF PRIVY PIT IS STAKED OUT.

W. A. LaBelle, Jr.
WILLIAM A. LaBELLE, JR.

319
S.E.#

4-27-25
DATE

Town, City, Plantation
SEDGWICK

Street, Road, Subdivision
ROUTE 15

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

SITE PLAN
(SEE ATTACHED SITE PLAN)

Scale 1" = 30 Ft.

SITE LOCATION PLAN
(Attach map from Maine Atlas
for First Time System Variance)

MAGNETIC
NORTH

EGGEMOGGIN
STORE

ROUTE 15

1/2 MI.

A hand-drawn map showing a road with a distance of 1/2 MI. and a location marked with an asterisk and the word SITE.

ERP, NAIL IN
4" DIA. OAK

-17" DIA. PINE,
FOR TIE

-TP#16, PROPOSED
PIT PRIVY LOCATION

at center of privy pit

Lat. 44° d 18' m 59.4" N
Lon. 68° d 40' m 22.3" W
if g.p.s., state margin of error 30' ±

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)

Observation Hole TP#18 ☒ Test Pit ☐ Boring

3 " Depth of organic horizon above mineral soil

	Texture	Consistency	Color	Mottling
0			DARK YELLOWISH BROWN	N.E.
10	SILT	FRIABLE	(10 YR 4/6)	
20	LOAM TO	COMPACTED	LIGHT OLIVE BROWN	COMMON DISTINCT
30	SILT		(2.5 Y 5/4)	
40				
50				

DEPTH BELOW MINERAL SOIL SURFACE (inches)

Soil <u>1</u>	Classification <u>D</u>	Slope <u>5 %</u>	Limiting Factor <u>12 "</u> Depth	<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
Profile	Condition			

Observation Hole _____ ☐ Test Pit ☐ Boring

1 ^a Depth of organic horizon above mineral soil

Diagram illustrating a soil profile chart with depth below mineral soil surface (inches) on the vertical axis (0 to 50) and various soil properties on the horizontal axis: Texture, Consistency, Color, and Mottling. A diagonal line represents the soil surface. Below the chart is a table for recording data.

Soil Classification		Slope	Limiting Factor	<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
Profile	Condition	%	Depth	

Site Evaluator's Signature _____

S. I. #

Date _____

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 SHS
(207) 287-2070 FAX: (207) 287-4172

Town, City, Plantation
SEDGWICK

Street, Road, Subdivision
ROUTE 15

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

SCALE: 1" = 20 FT.



ERP, NAIL IN
4" DIA. OAK

17" DIA. PINE,
FOR TIE

APPROX.
EDGE OF FILL

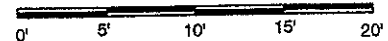
PROPOSED PIT PRIVY,
CENTER OF PIT IS
STAKED OUT

5%
SLOPE

NOTE:

SEE ALL NOTES
PAGE 1A.

SCALE: 1" = 10'



FILL REQUIREMENTS

Depth of Backfill (Upslope) 36"
Depth of Backfill (Downslope) 38 1/2"

Depths @ cross-section shown below or on X-sec. detail.

CONSTRUCTION ELEVATIONS

Finished Grade Elevation
Top of Distribution Pipe or Proprietary Device
Bottom of Disposal Field/Privy pit

SYSTEM:

PRIVY:

ELEVATION REFERENCE POINT

Location & Description NAIL 54"
ABOVE GROUND IN A
4" DIA. OAK
Reference Elevation is: 0"

NOTES:

DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

1. Grade surrounding area to divert surface water away from privy.
2. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPWO588).

[Signature]
Site Evaluator's Signature

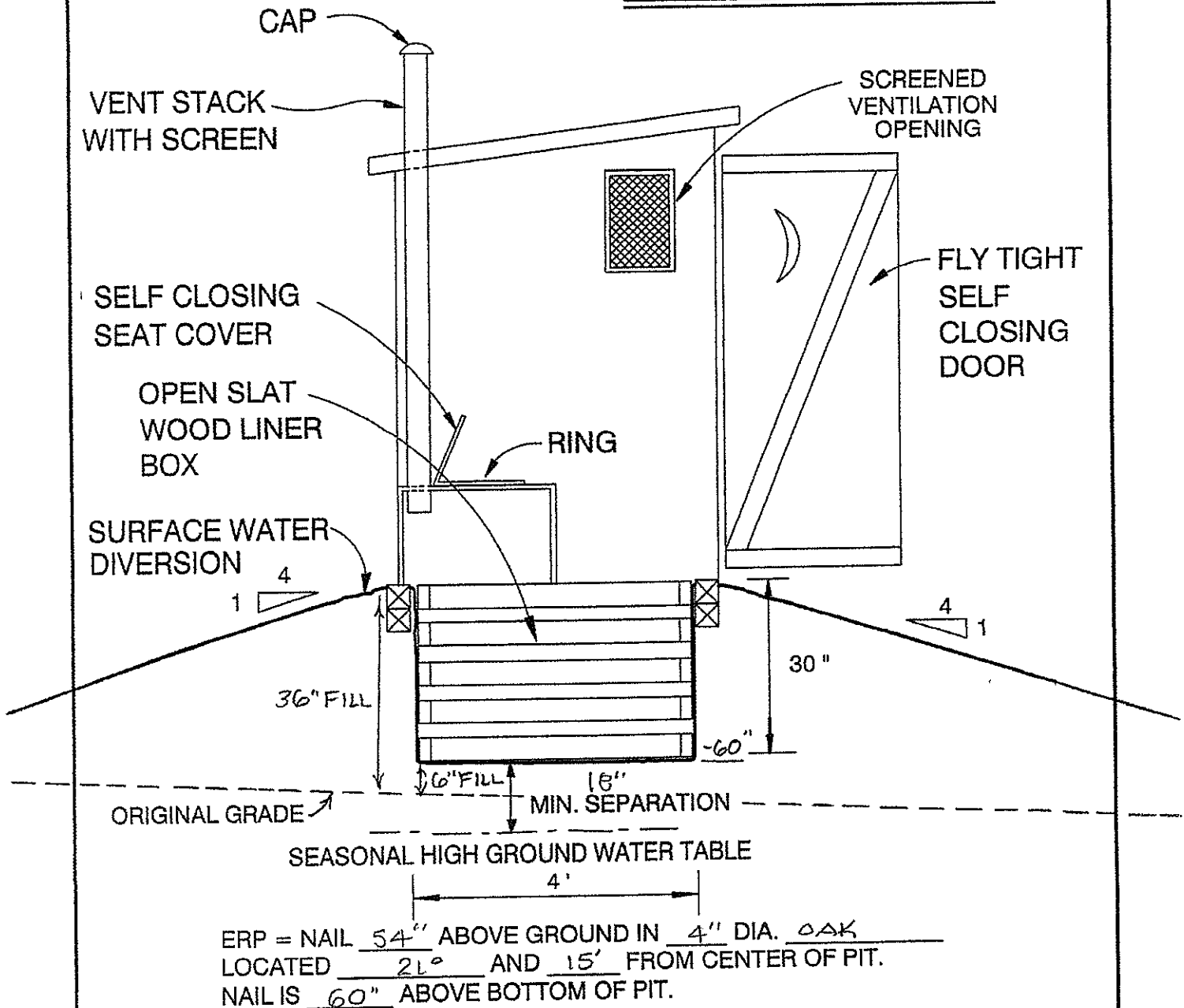
319
S.E. #

4-27-25
Date

TYPICAL PIT PRIVY 30" DEEP PIT

SCALE: 1" = 2'±

HIDEOUT HOUSE

TOWN: SEDGWICK ROAD: ROUTE 15 OWNER: ACADIA, LLCMAINTAIN PROPER SANITATION

CENTER OF PRIVY PIT IS STAKED OUT.

WILLIAM A. LaBELLÉ, JR.

319
S.E.#4-27-25
DATE

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 SRS
(207) 287-2070 FAX (207) 287-4172

Town, City, Plantation
SEDGWICK

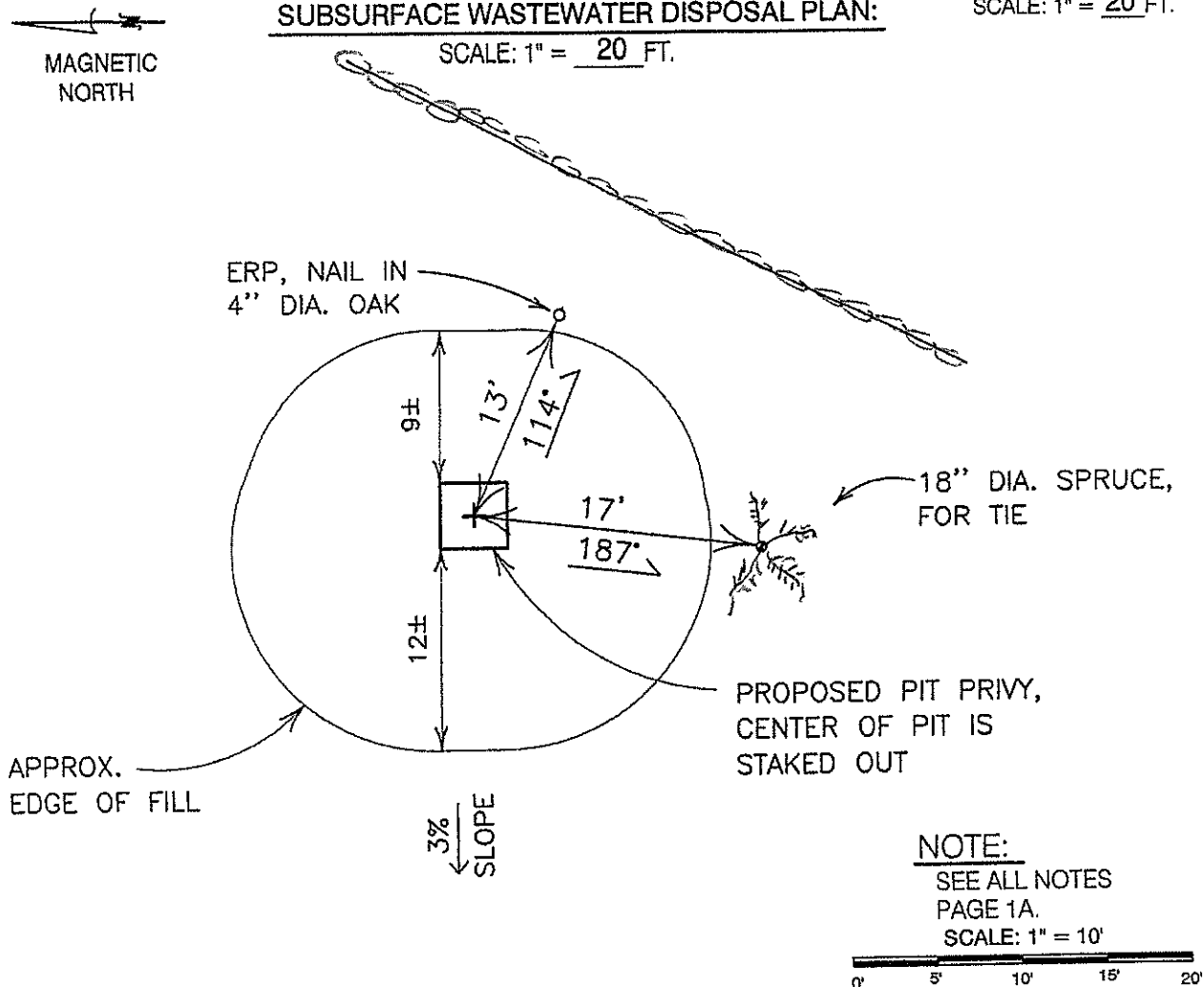
Street, Road, Subdivision
ROUTE 15

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

SCALE: 1" = 20 FT.



FILL REQUIREMENTS

Depth of Backfill (Upslope) 36"Depth of Backfill (Downslope) 37 1/2"

Depths @ cross-section shown below or on X-sec. detail.

CONSTRUCTION ELEVATIONS

Finished Grade Elevation

Top of Distribution Pipe or Proprietary Device

Bottom of Disposal Field/Privy pit

SYSTEM:

PRIVY:

ELEVATION REFERENCE POINT

Location & Description NAIL 52"ABOVE GROUND IN A12" DIA. OAKReference Elevation is: 0"

DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

NOTES:

1. Grade surrounding area to divert surface water away from privy.
2. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPWO588).

[Signature]
Site Evaluator's Signature

319
S.E. #

4-27-25
Date

Page 3 of 3
HHE-200 Rev. 01/2025

PRIVY C

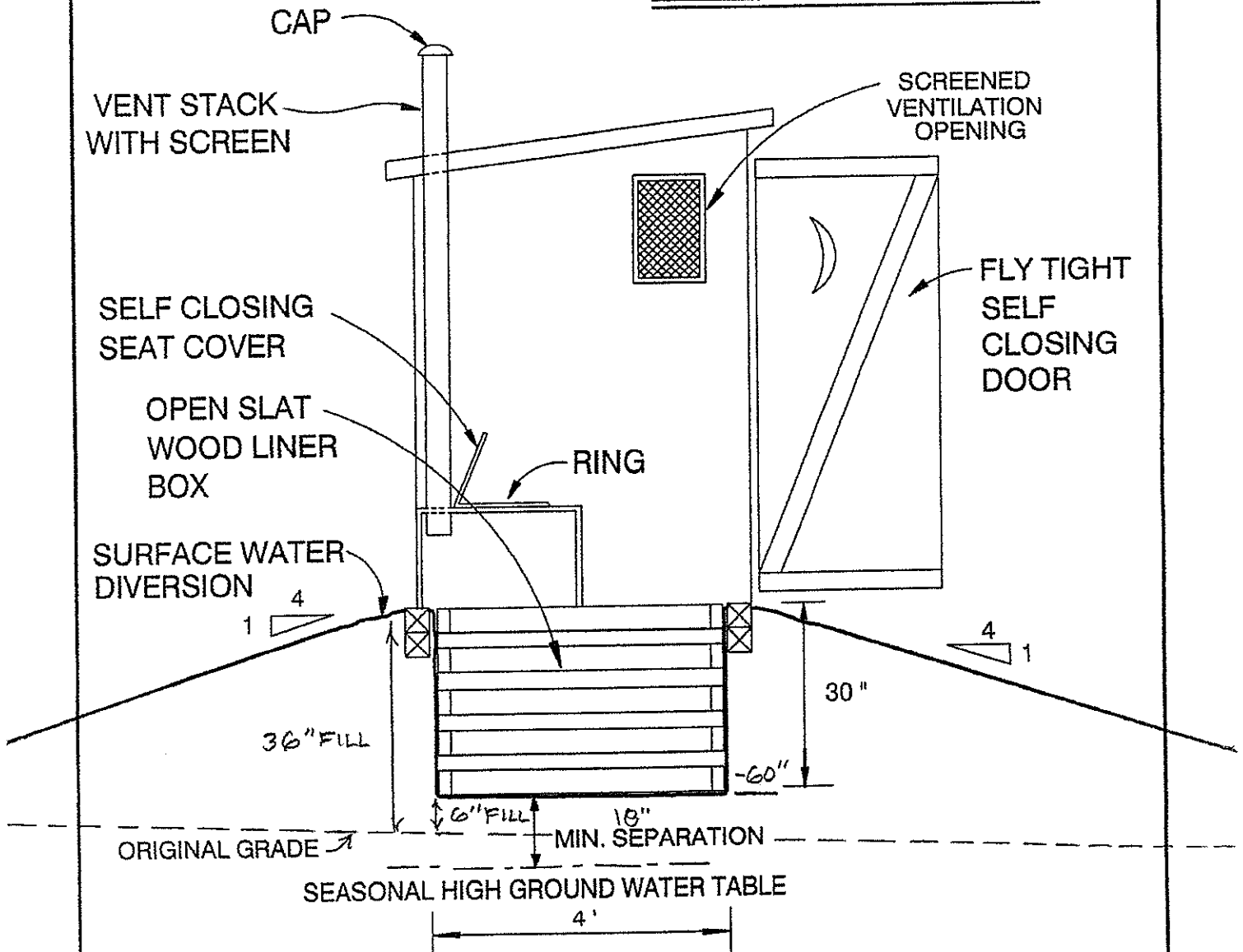
TYPICAL PIT PRIVY 30" DEEP PIT

SCALE: 1" = 2'±

HIDEOUT HOUSE

TOWN: SEDGWICK ROAD: ROUTE 15 OWNER: ACADIA, LLC

MAINTAIN PROPER SANITATION



ERP = NAIL 52" ABOVE GROUND IN 12" DIA. OAK
 LOCATED 114° AND 13' FROM CENTER OF PIT.
 NAIL IS 60" ABOVE BOTTOM OF PIT.

CENTER OF PRIVY PIT IS STAKED OUT.

W. A. LaBelle, Jr.
 WILLIAM A. LaBELLÉ, JR.

319
 S.E.#

4-27-25
 DATE

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172

Town, City, Plantation
SEDGWICK

Street, Road, Subdivision
ROUTE 15

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

SITE PLAN
(SEE ATTACHED SITE PLAN)

Scale 1" = 30 Ft.

SITE LOCATION PLAN
(Attach map from Maine Atlas
for First Time System Variance)

MAGNETIC
NORTH

EGGEMOGGIN
STORE

ROUTE 15

A hand-drawn map showing a road with a distance of 1/2 MI. and a location marked with an asterisk and the word SITE.

TP#15, PROPOSED
PIT PRIVY LOCATION

6" DIA FIR
TREE, FOR TIE

ERP, NAIL IN
3" DIA. FIR TREE

at center of privy pit

Lat. 44° d 18' m 57.2" N
Lon. 68° d 40' m 21.9" W
If g.p.s., state margin of error 30' ±

SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above or on pg. 2A)

Observation Hole TP#18 ☒ Test Pit ☐ Boring

3 " Depth of organic horizon above mineral soil

	Texture	Consistency	Color	Mottling
0	SILT	FRIABLE	DARK YELLOWISH BROWN (10 YR 4/6)	N.E.
20	LOAM TO SILT	FIRM	OLIVE BROWN (2.5 Y 4/4)	FEW DISTINCT
40				
50				

DEPTH BELOW MINERAL SOIL SURFACE (inches)

Soil Profile 1	Classification D	Slope 0 %	Limiting Factor 12' Depth	<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Desiccation <input type="checkbox"/> Pit Depth
----------------	------------------	-----------	---------------------------	--

Observation Hole ☐ Test Pit ☐ Boring

1 " Depth of organic horizon above mineral soil

[illegible]

Site Evaluator's Signature

319
S.E.#

4-27-25
Date

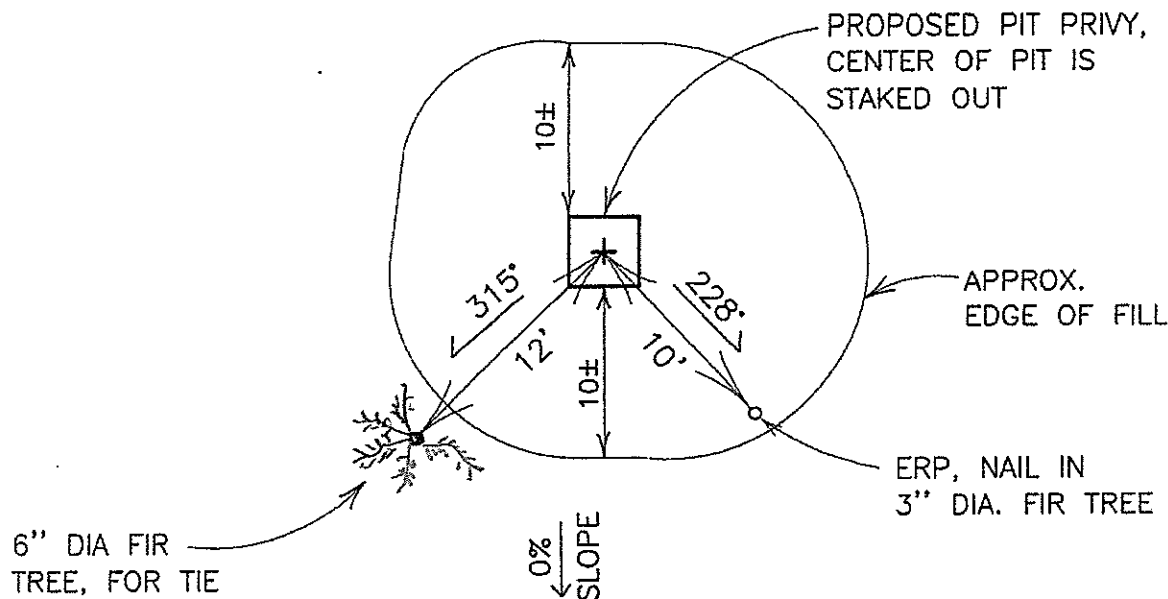
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-4172Town, City, Plantation
SEDGWICKStreet, Road, Subdivision
ROUTE 15Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

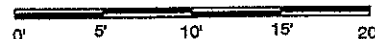
SCALE: 1" = 20 FT.



NOTE:

SEE ALL NOTES
PAGE 1A.

SCALE: 1" = 10'



FILL REQUIREMENTS

Depth of Backfill (Upslope) 36"Depth of Backfill (Downslope) 36"

Depths @ cross-section shown below or on X-sec. detail.

CONSTRUCTION ELEVATIONS

Finished Grade Elevation

Top of Distribution Pipe or Proprietary Device

Bottom of Disposal Field/Privy pit

SYSTEM:

PRIVY:

ELEVATION REFERENCE POINT

Location & Description NAIL 67"ABOVE GROUND IN A10" DIA. SPRUCEReference Elevation is: 0"

NOTES:

DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

1. Grade surrounding area to divert surface water away from privy.
2. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPWO588).

Site Evaluator's Signature

S.E. #

Date

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PRIVY D

TYPICAL PIT PRIVY 30" DEEP PIT

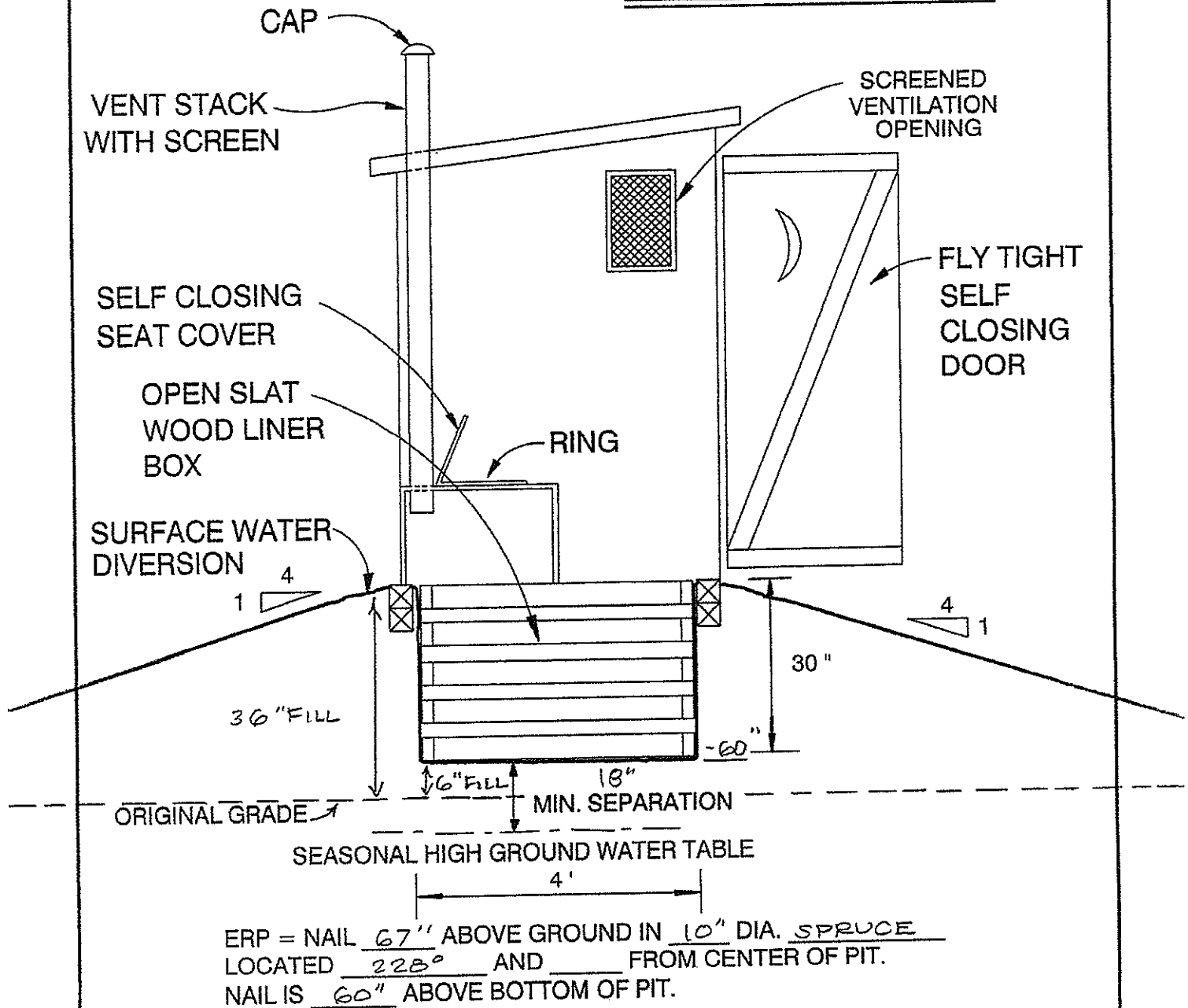
SCALE: 1" = 2'±

TOWN: SEDGWICK

ROAD: ROUTE 15

OWNER: HIDEOUT HOUSE
ACADIA, LLC

MAINTAIN PROPER SANITATION



CENTER OF PRIVY PIT IS STAKED OUT.

W. A. LaBelle, Jr.
WILLIAM A. LaBELLE, JR.

319
S.E.#

4-27-25
DATE

Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLC

SITE LOCATION PLAN
(Attach map from Maine Atlas
for First Time System Variance)

TP#14, PROPOSED
PIT PRIVY LOCATION

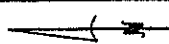
at center of privy pit
Lat. 44° d 18' m 56.6" s N
Lon. 68° d 40' m 26.1" s W
if g.p.s., state margin of error 30' ±

Diagram illustrating a soil profile chart with depth below mineral soil surface (inches) on the Y-axis (0 to 50). The chart is divided into four columns: Texture, Consistency, Color, and Mottling. A diagonal line indicates the depth of the mineral soil surface.

Soil Profile	Classification	Slope	Limiting Factor
		%	<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth

Date _____

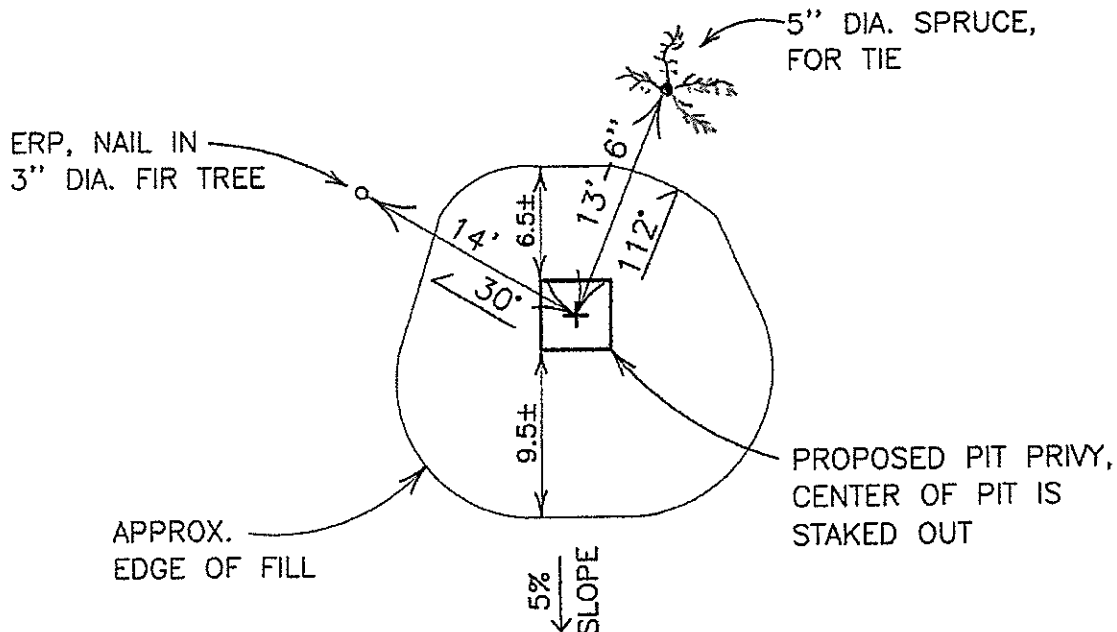
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services
Division of Environmental Health, 11 SHS
(207) 287-2070 FAX (207) 287-1172Town, City, Plantation
SEDGWICKStreet, Road, Subdivision
ROUTE 15Owner or Applicant Name
HIDEOUT HOUSE ACADIA, LLCMAGNETIC
NORTH

SUBSURFACE WASTEWATER DISPOSAL PLAN:

SCALE: 1" = 20 FT.

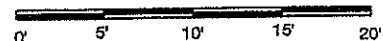
SCALE: 1" = 20 FT.



NOTE:

SEE ALL NOTES
PAGE 1A.

SCALE: 1" = 10'



FILL REQUIREMENTS

Depth of Backfill (Upslope) 26"
Depth of Backfill (Downslope) 28 1/2"

Depths @ cross-section shown below or on X-sec. detail.

CONSTRUCTION ELEVATIONS

Finished Grade Elevation
Top of Distribution Pipe or Proprietary Device
Bottom of Disposal Field/Privy pit

SYSTEM:

PRIVY:

ELEVATION REFERENCE POINT

Location & Description NAIL 42"
ABOVE GROUND IN A
3" DIA. FIR TREE
Reference Elevation is: 0"

NOTES:

DISPOSAL AREA CROSS SECTION (SEE ATTACHED CROSS SECTION)

1. Grade surrounding area to divert surface water away from privy.
2. All work done adjacent to wetlands, water bodies and water courses must be done in compliance with Section 13 of the Subsurface Wastewater Disposal Rules. Erosion and sediment control measures must be in accordance with the March 2003 edition of the Maine DEP Handbook "Maine Erosion and Sediment Control BMPS" (DEPWO588).

Site Evaluator's Signature

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S.E. #4-27-25
DatePage 3 of 3
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PRIVY E

TYPICAL PIT PRIVY 30" DEEP PIT

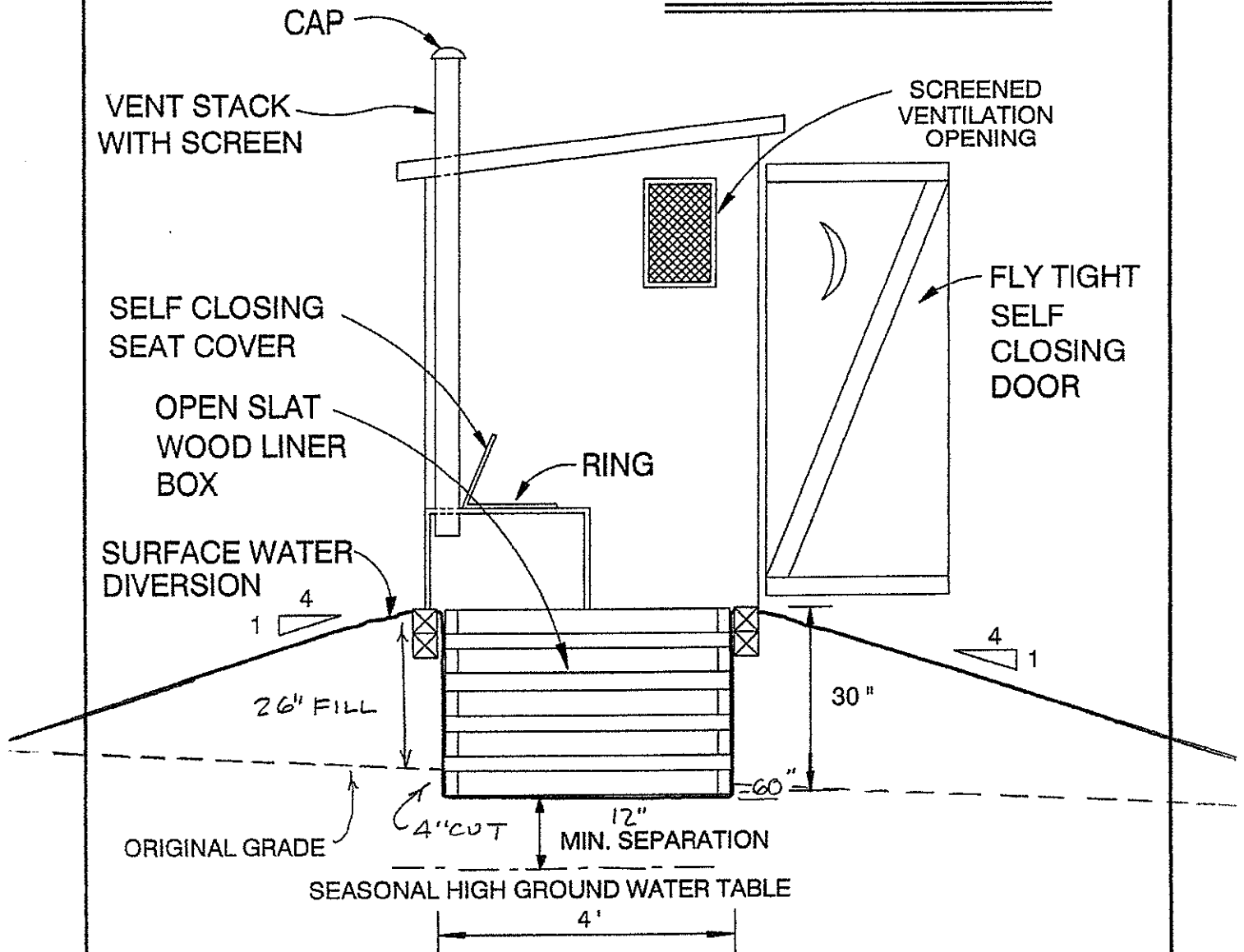
SCALE: 1" = 2'±

TOWN: SEDGWICK

ROAD: ROUTE 15

OWNER: HIDEOUT HOUSE
ACADIA, LLC

MAINTAIN PROPER SANITATION



ERP = NAIL 42" ABOVE GROUND IN 3" DIA. FIR TREE
LOCATED 30° AND 14' FROM CENTER OF PIT.
NAIL IS 60" ABOVE BOTTOM OF PIT.

CENTER OF PRIVY PIT IS STAKED OUT.

WILLIAM A. LaBELLE, JR.

319
S.E.#

4-27-25
DATE